



CITY OF SAN RAMON
COMMUNITY DEVELOPMENT DEPARTMENT
2226 Camino Ramon
San Ramon, CA 94583
Phone: (925) 973-2560 Fax: (925) 806-0118

Residential Accessory Structures

DEFINITION

The City of San Ramon Zoning Ordinance (Division D8 – Glossary) defines a Residential Accessory Structure as: “Any structure that is customarily a part of, and clearly incidental and secondary to a residence, and does not change the character of the residential use.”

This definition includes the following accessory structures, and other similar structures and uses normally associated with a residential use of property.

arbors	garages	decks
barbeques (permanent)	gazebos	spas and hot tubs
covered patios	greenhouses	other similar structures
large water fountains	storage sheds	
workshops	studios	
tennis and other on-site sport courts	outdoor fireplaces	

The Accessory Structure definition does not include the following:

basketball hoops (permanent or moveable)
barbeques (movable)
play equipment (permanent or moveable)
mechanical equipment (e.g. air conditioning units)

REQUIREMENTS

All residential accessory structures shall conform to the regulations in the current California Building Code, the Zoning Ordinance, and all other relevant laws, ordinances, rules, and regulations.

ZONING ORDINANCE REQUIREMENTS

Please review the following information and attachments to determine which Zoning Ordinance requirements apply to your property. **If you need help determining which Zoning Ordinance requirements apply to your property, please call the Planning Services Division at (925) 973-2560.**

Attachment 1 – Outside Dougherty Valley

If your location is outside Dougherty Valley, please review the accessory structure requirements in Zoning Ordinance Section D4-26 in Attachment 1.

Attachments 2, 3, 4 – Within Dougherty Valley

If your location is within Dougherty Valley, please verify the phase in which your property is located (Gale Ranch 1, Windemere 2, etc.) and review the corresponding accessory structure requirements in the attached handouts.

PLAN CHECK REVIEW PROCESS

To begin the plan check review process, please contact the Building & Safety Division at (925) 973-2580 to determine if your proposal requires review and/or approval for a building permit.

BUILDING PERMIT NOT REQUIRED

If your proposal **does not** require a building permit from the Building & Safety Division, then it is your responsibility to meet the Zoning Ordinance requirements (height limit, setbacks, etc.) for an accessory structure.

BUILDING PERMIT REQUIRED

If your proposal **does** require a building permit from the Building & Safety Division, a plan check review will be conducted concurrently by the Planning Services Division, the Building & Safety Division, and if applicable, the Engineering Division. Submit three (3) sets of your plans to the Building & Safety Division located at City Hall at 2226 Camino Ramon.

SUBMITTAL REQUIREMENTS FOR PLAN CHECK REVIEW

Proposals that require a building permit must be submitted to the Building & Safety Division for plan check review. Each application shall include three (3) sets of plans which must be drawn to scale and clearly indicate the location and extent of the proposed improvements. Minimum size plans accepted are 8 ½" by 11". **Please Note:** Additional information may be requested depending upon your specific proposal.

- 1) **Site Plan:** Clearly indicate a north arrow, property lines, easement areas, setback distances from proposed accessory structure(s) to property lines, and all existing structures including the residence. Be sure to clearly label all existing and proposed construction. (see Attachment 5 for an example)
- 2) **Elevation Detail:** Clearly indicate the height of the proposed structure, measured from the lowest natural grade level to the midpoint of a pitched roof (see Figure 1 below), top of a flat roof, or the top of the floor for a deck. Indicate all exterior colors and materials.

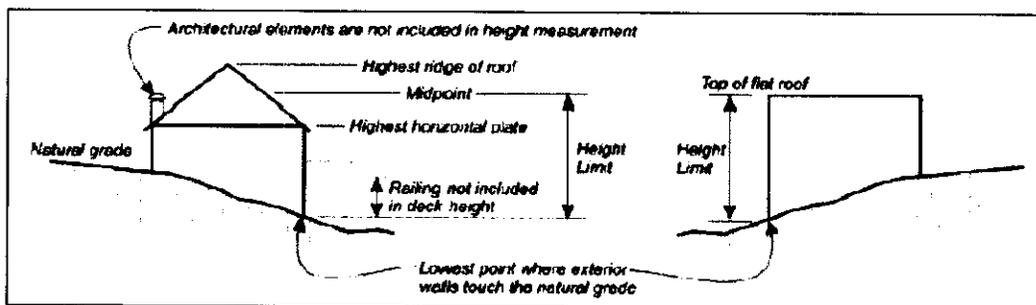


Figure 1

- 3) **Floor Plan:** Provide a floor plan labeling the use of each room or area within the proposed accessory structure. (e.g. sheds, pool houses, etc.)

- 4) **Cross-Section Detail:** Provide a cross-section detail **if** your proposal includes improvements on a hillside. (see Figure 1 above)
- 5) **Other Requirements:** To expedite the process, please verify requirements from other Districts and Divisions (Engineering, San Ramon Fire District, etc.) are met prior to submitting your application to the Building & Safety Division.

ATTACHMENTS

- 1) Zoning Ordinance Section D4-26 Accessory Structures (outside Dougherty Valley)
- 2) Dougherty Valley - Gale Ranch 1 Development Regulations
- 3) Dougherty Valley - Gale Ranch 2, Windemere 1, 2, & 4 Development Regulations
- 4) Dougherty Valley – Windemere 5 Development Regulations
- 5) How to Prepare a Residential Plot Plan Handout
- 6) Patio Cover Plan Submittal Guidelines Handout (Building & Safety Division)

D4-25 - Applicability

The land uses and activities covered by this Chapter shall comply with the provisions of each Section applicable to the specific use, in addition to all other applicable provisions of this Zoning Ordinance.

- A. **Where allowed.** Each use shall be located only where allowed by Division D2 (Allowable Land Uses and Zoning Standards).
- B. **Planning permit requirements.** Each use shall be authorized by the planning permit required by Division D2, except where a planning permit requirement is established by this Chapter for the specific use.
- C. **Development standards.** The standards for specific uses in this Chapter supplement and are required in addition to all other applicable provisions of this Zoning Ordinance (e.g., Divisions D2 and D3, etc.).
 - 1. The land use tables in Division D2 determine when the standards of this Chapter apply to a specific land use.
 - 2. In the event of any conflict between the requirements of this Chapter and those of Divisions D2 or D3, the requirements of this Chapter shall control.

D4-26 - Accessory Structures

Where allowed by Division D2 (Allowable Land Uses and Zoning Standards), accessory structures shall comply with the requirements of this Section.

- A. **Requirements for all accessory structures.**
 - 1. **Relationship to primary use.** An accessory use and/or structure shall be incidental to the primary residential use of the site, and shall not alter the character of the primary use.
 - 2. **Timing of installation.** An accessory structure shall only be constructed concurrent with or after the construction of the primary structure on the same site except that construction trailers may be placed on a site at the time site clearance and grading begins, and may remain on the site only for the duration of construction.
 - 3. **Location on the site.** Except as provided by this Section, no accessory structure shall occupy a required front or corner side setback, or project beyond the front building line of the primary structure on the site; and no accessory use shall be permitted off-site.

- B. C, O, and M zones.** An accessory structure within a commercial, office, or manufacturing zone shall comply with the following standards, in addition to those in Subsection A.
- 1. Setback requirements.** In addition to the setback requirements of Subsection A.3 (Location on the site), an accessory structure located to the rear of a primary structure shall be set back from the interior side and rear property lines by a minimum of five feet, unless the accessory structure complies with the height limit requirements of Subsection B.2.
 - 2. Height limit.** A non-residential accessory structure shall not exceed a maximum height of 12 feet, provided that:
 - a. A pitched roof may extend to a maximum height of 16 feet; and
 - b. A structure placed at a property line shall not exceed six feet in height at the property line, and shall not intercept an inclined daylight plane sloping inward from a point six feet above the property line and rising one foot for each foot of distance from the property line.
- B. MW, AG, OS, P, and PS zones.** Accessory structures shall comply with all regulations applicable to the principal primary structure. Off-site accessory uses may be allowed only with a Minor Use Permit approval.
- C. R zones.** Each accessory structure within a residential zone shall comply with the following requirements.
- 1. Maximum total floor area.** The total floor area of all accessory structures on the site that are more than four feet in height, or more than fifty percent enclosed, shall not exceed 1,000 square feet, or three percent of the lot area, whichever is less.
 - 2. Height limit.** The height of an accessory structure shall not exceed 12 feet in RE-B, RS, RM and RH zones. The height of an accessory structure shall not exceed 16 feet in the RR and RE-A zones. An accessory structure located within a required front setback shall not exceed a height of three feet, not including decorative features or lighting, which may extend upward an additional 18 inches.
 - 3. Setback requirements.** Accessory structures shall comply with the following setback requirements.
 - a. **Front setback.** An accessory structure shall be set back from a front property line by a minimum distance:
 - (1) Of five feet when the structure does not exceed a height of three feet (fences and walls of three feet or less in height are exempt from this requirement); and
 - (2) As required by Subsection C.3.c for animal structures.

- (3) An accessory structure in a required front yard setback shall comply with the driveway visibility requirements of Section D3-10 (Setback Requirements and Exceptions), and the site obstruction requirements of Section D3-13 (Driveways and Site Access).
 - b. **Side and rear setbacks.** An accessory structure shall be set back from the side and rear property line as follows.
 - (1) If the structure is of 18 inches or less in height, no setback is required;
 - (2) If the structure is greater than 18 inches but 6 feet or less in height, a three-foot setback is required; and
 - (3) If the structure is greater than 6 feet in height, the setback shall be equal to the height less three feet.
 - c. **Setbacks for animal keeping structures.**
 - (1) **Small animal structures.** The minimum setback for chicken houses, rabbit hutches, and similar structures housing similar small animals shall be 60 feet from the front property line; and 40 feet from a side or rear property line.
 - (2) **Large animal structures.** The minimum setback for barns, stables, and similar accessory structures housing large animals shall be 100 feet from the front property line; and 50 feet from a side or rear property line.
 - d. **Swimming pools and hot tubs.** Swimming pools and hot tubs shall be fenced as required by Chapter 18-4 of the City Ordinance (Ordinance 53, adopted April 19, 1985). Additional fencing, separation, or fixed windows shall be required where, in the judgment of the Chief Building Official, the features are needed for safety.
- D. **PD zone.** The size and location of accessory structures shall comply with the requirements of the adopted PD or specific plan for the applicable PD zone. If the PD standards do not address standards for accessory structures, then the requirements of R zone apply to residential developments and C zone standards apply to commercial developments.

GALE RANCH I DEVELOPMENT REGULATIONS
City Council Adopted Guidelines Per Ordinance No. 332 & 333



Single-Family Residential:

<u>Standards</u>	<u>Required (Minimum)</u>
Min. Lot Area	3,500 sq. ft.
Min. Lot Width	35 feet.
Min. Yards (ft.)	
Front	8 - 18 ft. (a)
Side	5 - 6 ft. (b, c)
Aggregate Side	10 - 12 ft.
Corner Side	10 ft.
Rear	6 - 15 ft.(d, e)
Building Height	35 ft. (f)

- (a) Front setbacks are measured from back of sidewalk. Front setbacks can be reduced to 15-feet for ground floor living space provided the garage has a minimum approach of 18-feet from the back of sidewalk. Automatic roll-up garage doors are required on driveways less than 20-feet in length. On cul-de-sac no more than 300-feet in length where parking is provided elsewhere (e.g., clusters), driveway may be reduce to 5-feet in length. On such cul-de-sacs, up to 50% of homes may have the 5-foot driveway. An 8-foot frontyard setback shall only be authorized for the Glen Bridge product, Model 3.
- (b) On lots wider than 65-feet, a 12-foot total (aggregate) sideyard is recommended.
- (c) Chimneys, bays and roof overhangs may extend into setbacks on conventional lots but chimney and/or bays may not directly oppose each other and roof overhangs may not encroach more than 2-feet into each setback.
- (d) For any detached housing units with a rearyard on the golf course, off-street trails or open space, part of the rearyard setback can be 6-feet provided that the average rearyard setback is not less than 15-feet. To reduce their visibility, storage structures over 40-inches in height will not be allowed along rear property lines on golf, trails or open space. Patio structures when attached to the residence may not exceed 10-feet in height or the top of the doorframes, whichever is less. Freestanding gazebos, arbors or sunshades may not exceed 9-feet in total height and shall be placed so as not to be visible from the street or blocking the view of others and be setback a minimum of 6-feet from the side and rear yard property line. Structures enclosed more than 50% (e.g., storage sheds) shall not exceed a maximum height of 9-feet, and be setback a minimum of 6-feet from the side and rear yard property line.
- (e) For any housing units that share a rear property line, part of the rearyard setback can be 10-feet provided that the average rearyard setback is not less than 20-feet for two-story elements and the 10-foot building element setbacks do not oppose each other.
- (f) Building height is defined as the distance between the average exterior grade elevation and the average roof height.
- (g) Retaining walls on individual lots shall not exceed 4-feet in height. The use of stepped-up walls is encouraged.
- (h) Residential second units shall comply with Municipal Code.

GALE RANCH I DEVELOPMENT REGULATIONS
City Council Adopted Guidelines Per Ordinance No. 332 & 333



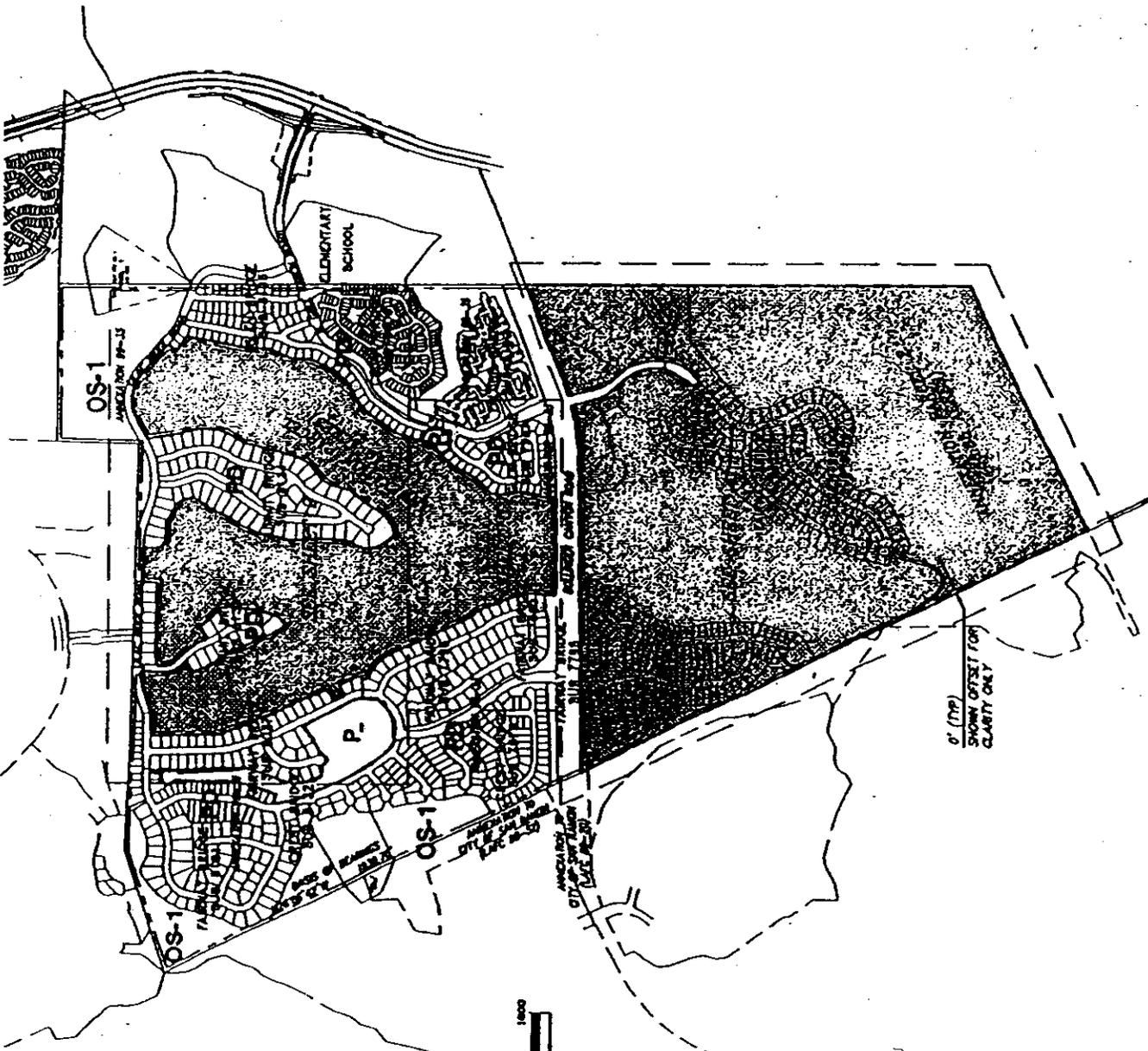
Multiple-Family Residential Siting Guidelines (Townhouse and Apartments):

<u>Standards</u>	<u>Provided (Minimum)</u>
Min. Yards (ft.):	
Front	15-20 ft. (a)
Side	5-15 ft. (b)
Rear	12 ft. (c)
Parking	1 space for studio/1-bedroom 2 spaces for 2/3-bedrooms ¼ parking space per unit for guest
Structure Height	50-feet

- (a) The building structure setback is a 15-foot minimum, with an average of 20-feet.
- (b) 10-feet without living room window(s); 15-feet with living room window(s), except next to open space where 5-foot setback is acceptable, where there is no access from the unit.
- (c) Building setback to project perimeter property line.

Exhibit A

RZ 01-600-001



THIS MAP WHEN FILED WAS ACCOMPANIED BY A CERTIFICATE OF COMPLETION AND A COPY OF THE RECORDS OF THE OFFICE OF THE COUNTY CLERK, CONTRA COSTA COUNTY, CALIFORNIA, WHICH CONTAINS THE COMPLETE AND BOUNDARY LINE RECORDS IN TERMS OF OFFICIAL RECORDS, RECORDS OF CONTRA COSTA COUNTY, CALIFORNIA.

EXECUTIVE OFFICER
LOCAL AGENCY FORMATION COMMISSION
CONTRA COSTA COUNTY, CALIFORNIA

FILED AT THE REQUEST OF THE CITY OF SAN RAMON AT
_____ MINUTES PAST _____ ON THE _____ DAY OF
2000 IN THE OFFICE OF THE COUNTY
RECORDS OF CONTRA COSTA COUNTY, CALIFORNIA.

COUNTY RECORDS
BY _____ COUNTY COUNTY RECORDS

THIS MAP CONFORMS TO THE REQUIREMENTS OF THE LOCAL
AGENCY FORMATION COMMISSION OF CONTRA COSTA COUNTY,
CALIFORNIA.

DATE: _____ BY: _____
DIP. CO. SURVEYOR, L.S. 5999
REGISTRATION NUMBER 15-31-08

MAP DELINEATING BOUNDARY OF TERRITORY ANNEXED TO THE
CITY OF SAN RAMON, CALIFORNIA BY RESOLUTION NO. _____
OF THE SAN RAMON CITY COUNCIL.

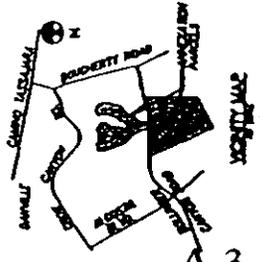
BASES OF BEARINGS:
THE WESTERN LINE OF "SUNSHINE TRAIL", FILED
OCTOBER 28, 1997 IN BOOK 345 OF MAPS AT PAGE 41,
OFFICIAL RECORDS OF CONTRA COSTA COUNTY, CALIFORNIA,
AS INDICATED.

LEGEND
--- P.A.L.
--- POINT OF BEGINNING
--- EXISTING CITY BOUNDARY LINE
--- BOUNDARY LINE OF ANNEXATION

RUGGERI-JENSEN-AZAR & ASSOCIATES
CITY ENGINEERS, PLANNERS, SURVEYORS
4000 SISKIYOU AVENUE, SUITE 100 - PLEASANTON, CA. 94566

ANNEXATION NO. _____
TO THE CITY OF SAN RAMON

DATE: _____ BY: _____
SCALE: 1" = 600' (SEE PLAN) CITY ENGINEER: _____
1" = 600' (SEE PLAN) CITY CLERK: _____



GALE RANCH 2 & WINDEMERE 1, 2, & 4 DEVELOPMENT REGULATIONS
City Council Adopted Guidelines per Ordinance Nos. 356, 363, & 372



Single-Family Residential

<u>Standards</u>	<u>Required (Minimum)</u>
- Min. Lot Width ⁽¹⁾	35 ft.
- Min. Yards ^(1, 2)	
Front	18 ft. ⁽³⁾
Side ⁽⁴⁾	One story element opposing/one story element: 5 ft. each side except 10 ft. total where two story element opposes/two story element.
Corner Lot Side	10 ft.
Rear on Golf or Open Space	15 ft. ⁽⁵⁾
Rear Lot to Rear Lot	10 ft. ⁽⁶⁾
- Accessory Structures ⁽⁷⁾	
- Building Height ^(8, 9)	35 ft.
- Parking Space/Dwelling	2 covered spaces on public streets. On private streets with no parking on-street, add ½ space per unit in parking bays or off-street. For carriage units, one additional space off-street and outside setbacks.

- (1.) The minimum lot width shall be 35 feet. Where lot width is 35 feet the minimum lot size shall be 3,500 square feet.
- (2.) Chimneys, bays and roof overhangs may extend into setbacks on conventional lots but chimneys and/or bays may not directly oppose each other and roof overhangs may not encroach more than two (2) feet into each setback.
- (3.) Front setbacks are measured from back of sidewalk. Front setbacks can be reduced to 15 feet for ground floor living space provided the garage has a minimum approach of 18 feet from the back of sidewalk. Automatic roll-up garage doors are required on driveways less than 20 feet in length. On cul-de-sacs no more than 300 feet in length where parking is provided elsewhere (e.g., in clusters), driveways may be reduced to five (5) feet in length. On such cul-de-sacs, up to 50% of homes may have the five (5) foot driveway.
- (4.) On lots wider than 65 feet, a 12 foot total sideyard setback is recommended.
- (5.) For any detached housing unit with a rearyard on the golf course, off-street trails or open space, part of the rearyard setback can be 6 feet provided that the average rearyard setback is not less than 15 feet. To reduce their visibility, storage structures over 40 inches in height will not be allowed along rear property lines on golf course, trails or open space. Where allowed, such structures' maximum height shall be 6 feet.
- (6.) For any housing units that share a rear property line, part of the rearyard setback can be 10 feet provided that the average rearyard setback is not less than 20 feet for two-story elements and the 10 foot building element setbacks do not oppose each other.
- (7.) Patio Structures when attached to the residence may not exceed 10 feet in height or the top of the doorframes, whichever is less. Freestanding gazebos, arbors or sunshades may not exceed 9 feet in total height and shall be placed as not to be visible from the street or blocking the view of others and be setback a minimum of 6 feet from the side and rear yard property line. Structures enclosed more than 50% (e.g. storage sheds) shall not exceed a maximum height of 9 feet, and be setback a minimum of 6 feet from the side and rear yard property line.
- (8.) Building height is defined as the distance between the average exterior grade elevation and the average roof height.
- (9.) The second floor area in all detached housing units may be up to 47% of the total floor area (including garages, covered entries, porches) provided there is variation in one of the two story sides (i.e. bay windows or other appurtenances) in the horizontal or vertical plane of one of the opposing housing units.

GALE RANCH 2 & WINDEMERE 1, 2, & 4 DEVELOPMENT REGULATIONS
City Council Adopted Guidelines per Ordinance Nos. 356, 363, & 372 (cont.)



Attached Residential Siting Guidelines (Townhouse, Condominiums, and Apartments)

<u>Standards</u>	<u>Provided (Minimum)</u>
Building Height (2)	50 ft.
Building Setbacks (1, 3)	
Building to Building Setbacks	15 ft. min./20 ft. avg.
Building to Vehicle Access Way	10 ft. where end walls of bldg. not directly accessed. (5 ft. to garage face and elements above)
Building to Public Street	
Right-of-Way (from back curb)	20 ft.-1 & 2 stories (4) 25 ft. over 2 stories
Building to Side Yard Property Line	10 ft. without living room window(s); 15 ft. with living room window(s), except next to open space where 5 ft. setback is acceptable where there is no access from the unit.

- (1) Higher density housing abutting public plazas or with ground floor retail frontage in the Village Center may be designed with reduced setbacks.
- (2) Building height is defined as the distance between the average exterior grade elevation and the average roof height.
- (3) Garages for multiple car storage should be recessed below grade wherever possible.
- (4) If alternative access is provided, the building setbacks on a public street may be 15 feet.
- (5) Parking for multiple family housing shall be as originally approved.

GALE RANCH 2 & WINDEMERE 4 DEVELOPMENT REGULATIONS
City Council Adopted Guidelines per Ordinance No. 372 (cont.)

Multi-Family Residential	
<u>Standards</u>	<u>Required (Minimum)</u>
- Min. Yards	
Front	15-20 ft. ⁽¹⁾
Side	5-15 ft. ⁽²⁾
Rear	12 ft. ⁽³⁾
- Accessory Structures ⁽⁴⁾	
- Building Height ⁽⁵⁾	50 ft.
- Parking	1 space for studio/1 bedroom 2 spaces for 2-3 bedrooms 1/4 parking space per unit for guests

- (1) The building structure setback is a 15 foot minimum, with an average of 20 feet.
- (2) Minimum of 10 feet without a living room window(s); and Minimum of 15 feet with a living room window(s), except next to open space where a 5 foot setback is acceptable, where there is no access from the unit.
- (3) Minimum building setback to project perimeter property line.
- (4) Patio Structures when attached to the residence may not exceed 10 feet in height or the top of the doorframes, whichever is less. Freestanding gazebos, arbors or sunshades may not exceed 9 feet in total height and shall be placed as not to be visible from the street or blocking the view of others and be setback a minimum of 6 feet from the side and rear yard property line. Structures enclosed more than 50% (e.g. storage sheds) shall not exceed a maximum height of 9 feet, and be setback a minimum of 6 feet from the side and rear yard property line.
- (5) Building height is defined as the distance between the average exterior grade elevation and the average roof height.

CITY BOUNDARY

TOWN OF DANVILLE

**LAFD 03-26
ANNEXATION #4
GALE RANCH
Phase 2 (Portion)
(393.65 Acres)**

GALE RANCH
BOLLINSFEL CANYON ROAD
Phase 1

CITY BOUNDARY

**LAFD 03-27
ANNEXATION #5
WINDEMERE
Phase 1
(352.41 Acres)**

**LAFD 03-28
ANNEXATION #6
DOUGHERTY ROAD
ANNEXATION AREA
(9.48 Acres)**

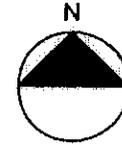
**CITY OF SAN RAMON
DOUGHERTY VALLEY
ANNEXATION #4, #5, & #6**

CITY BOUNDARY
ALAMEDA COUNTY LINE
CITY OF DUBLIN

0 1000 2000
SCALE IN FEET

CITY OF SAN RAMON DOUGHERTY VALLEY ANNEXATION No. 7

WINDEMERE Phase 2



**ANNEXATION #5
WINDEMERE
Phase 1**

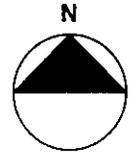
**L AFC 04-15
ANNEXATION #7
WINDEMERE
Phase 2
(122.2 Acres)**

Reservoir 200A

Reservoir R300

WINDEMERE PKWY

DOUGHERTY VALLEY ANNEXATION #8 & #9



ANNEXATION #9
GALE RANCH
Phase 2 (Portion)
(541.44 acres)

Bollinger Canyon Rd.

Windemere Pkwy

ANNEXATION #8
WINDEMERE
Phase 4
(206.13 acres)

City Limit

City Limit

City Limit

WINDEMERE V DEVELOPMENT REGULATIONS
City Council Adopted Guidelines Per Ordinance No. 380



Single-Family Residential:

<u>Standards</u>	<u>Required (Minimum)</u>
Min. Lot Width (a)	35 feet
Min. Yards (a, b):	
Front	18 feet (c)
Side (d)	One story element opposing/one story element: 5ft. each side except 10 ft. total where two story element opposes/two story element.
Corner Lot Side	10 ft.
Rear on Golf or Open Space	15 ft. (e)
Rear Lot to Rear Lot	10 ft. (f)
Accessory Structures (g)	
Building Height (h, i)	35 ft.
Parking Space/Dwelling	2 covered spaces for homes on public streets. On private streets with no parking on-street, add ½ space per unit in parking bays or off-street. For carriage units, one additional space off-street and outside of required setbacks.

- a. The minimum lot width shall be 35 feet. Where lot width is 35 feet the minimum lot size shall be 3,500 square feet.
- b. Chimneys, bays and roof overhangs may extend into setbacks on conventional lots but chimneys and/or bays may not directly oppose each other and roof overhangs may not encroach more than two (2) feet into each setback.
- c. Front setbacks are measured from back of sidewalk. Front setbacks can be reduced to 15 feet for ground floor living space provided the garage has a minimum approach of 18 feet from the back of sidewalk. Automatic roll-up garage doors are required on driveways less than 20 feet in length.
- d. On lots wider than 65 feet, a 12 foot total sideyard setback is recommended.
- e. For any detached housing unit with a rearyard on the golf course, off-street trails or open space, part of the rearyard setback can be 6 feet provided that the average rearyard setback is not less than 15 feet
- f. For any housing units that share a rear property line, part of the rearyard setback can be 10 feet provided that the average rearyard setback is not less than 20 feet for two-story elements and the 10 foot building element setbacks should not oppose each other.
- g. Patio structures such as arbors, pergolas, gazebos, and sunshades when attached to the residence may not exceed 10 feet in height or the top of the doorframes, whichever is less and shall be setback a minimum of 6 feet from the side and rear yard property line. Freestanding patio structures and accessory structures, including sheds, pool houses, BBQs, and outdoor fireplaces, may not exceed 9 feet in total height and shall maintain a side and rear yard setback equal to the total height less three feet with a minimum of a three-foot setback. For properties that abut a golf course, off-street trail or open space, structures enclosed more than 50% (e.g. storage sheds) may not exceed a maximum height of 6 feet and maintain a 6 foot minimum side and rear yard setback. An embankment to be retained that is over 48 inches in height shall be benched so that no individual retaining wall exceeds a height of 48 inches above finished grade, and each bench has a minimum depth of 24 inches.
- h. Building height is defined as the distance between the average exterior grade elevation and the average roof height.
- i. The second floor area in all detached housing units may be up to 47% of the total floor area (including garages, covered entries, porches) provided there is variation in one of the two story sides (i.e. bay windows or other appurtenances) in the horizontal or vertical plane of one of the opposing housing units.

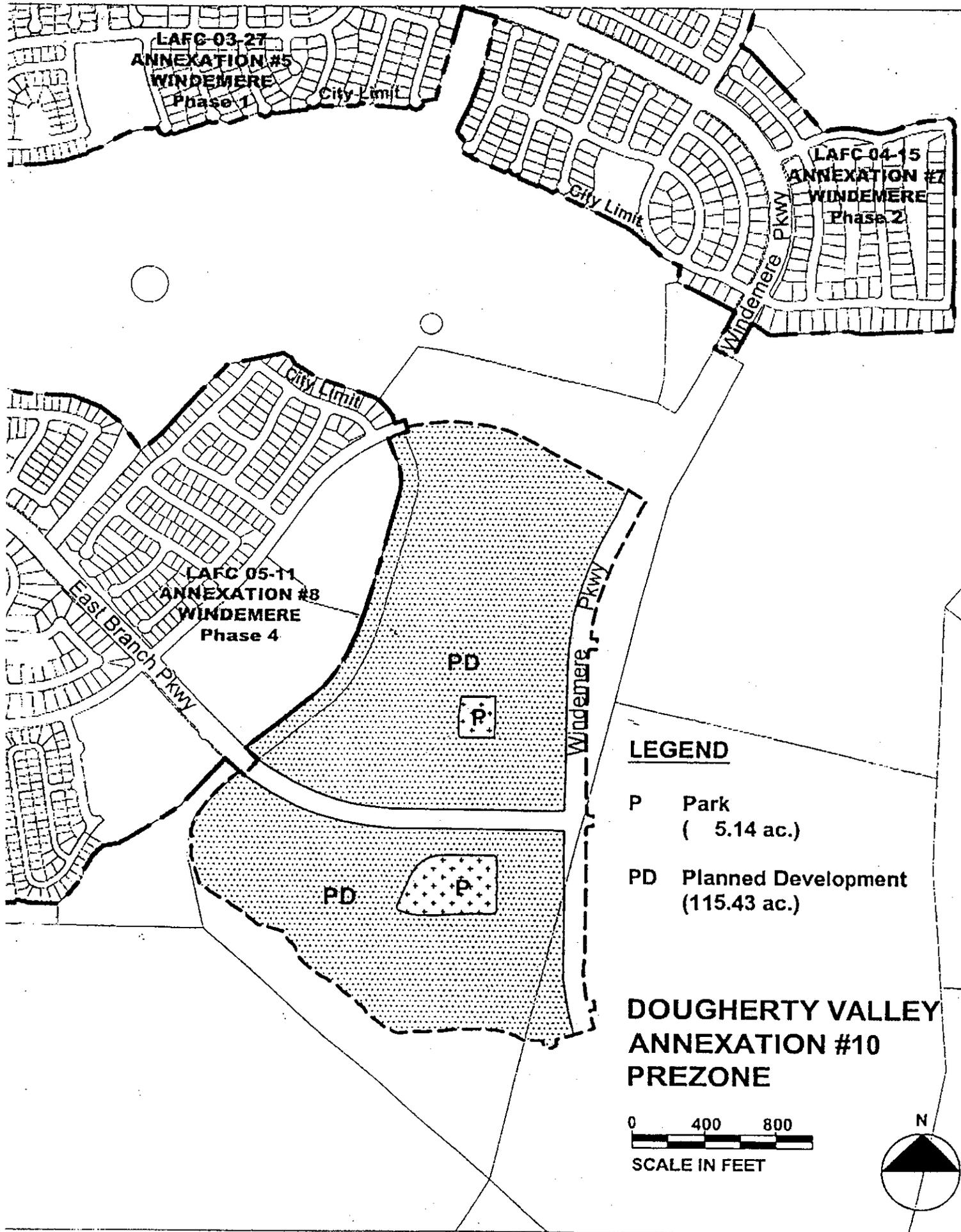
WINDEMERE V DEVELOPMENT REGULATIONS
City Council Adopted Guidelines Per Ordinance No. 380



Multi-Family Residential

<u>Standards</u>	<u>Required (Minimum)</u>
Min. Yards	
Front	15-20 ft. (a)
Side	5-15 ft. (b)
Rear	12 ft. (c)
Accessory Structures (d)	
Building Height (e)	50 ft.
Parking	1 space for studio/1 bedroom 2 spaces for 2-3 bedrooms ¼ parking space per unit for guests

- a. The building structure setback is a 15 foot minimum, with an average of 20 feet.
- b. Minimum of 10 feet without a living room window(s); and Minimum of 15 feet with a living room window(s), except next to open space where a 5 foot setback is acceptable, where there is no access from the unit.
- c. Minimum building setback to project perimeter property line.
- d. Patio structures such as arbors, pergolas, gazebos, and sunshades when attached to the residence may not exceed 10 feet in height or the top of the doorframes, whichever is less and shall be setback a minimum of 6 feet from the side and rear yard property line. Freestanding patio structures and accessory structure, including sheds, pool houses, BBQs, and outdoor fireplaces, may not exceed 9 feet in total height and shall maintain a side and rear yard setback equal to the total height less three feet with a minimum of a three-foot setback. For properties that abut a golf course, off-street trail or open space, structures enclosed more than 50% (e.g. storage sheds) may not exceed a maximum height of 6 feet and maintain a 6 foot minimum side and rear yard setback. An embankment to be retained that is over 48 inches in height shall be benched so that no individual retaining wall exceeds a height of 48 inches above finished grade, and each bench has a minimum depth of 24 inches.
- e. Building height is defined as the distance between the average exterior grade elevation and the average roof height.



LAFc 03-27
ANNEXATION #5
WINDEMERE
Phase 1

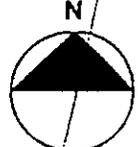
LAFc 04-15
ANNEXATION #7
WINDEMERE
Phase 2

LAFc 05-11
ANNEXATION #8
WINDEMERE
Phase 4

LEGEND

- P Park
(5.14 ac.)
- PD Planned Development
(115.43 ac.)

**DOUGHERTY VALLEY
ANNEXATION #10
PREZONE**





CITY OF SAN RAMON
BUILDING & SAFETY SERVICE
2226 CAMINO RAMON, SAN RAMON, CA 94583
Office: (925) 973-2580 Fax (925) 242-9312

HOW TO PREPARE A RESIDENTIAL PLOT PLAN

FORM 1001

This handout describes how to prepare a typical plot plan for construction related to Single Family Residences. With the exception of minor interior alterations, all plans submitted to the Building Division for a building permit requires a plot plan.

The Planning & Building Department has handouts that show construction techniques for miscellaneous structures such as Patio Covers, and Retaining Walls. These handouts, may be used in lieu of construction plans when attached to a properly prepared plot plan. The following information will explain the requirements necessary to produce an acceptable plot plan.

PLOT PLAN

A plot plan is a drawing that shows the entire construction site and all structures on the site, existing and proposed. This plan must be legible and drawn to scale and the scope of work must be clearly defined. Information regarding a particular lot may be obtained from the Planning Division.

After a permit is issued and the project is completed, the Building Division maintains microfilm or digital copies of the plot plan. We request that the plan be drawn large enough and clear enough for microfilming. The minimum page size is 8 1/2 " x 11".

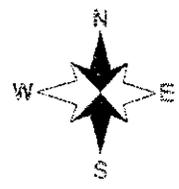
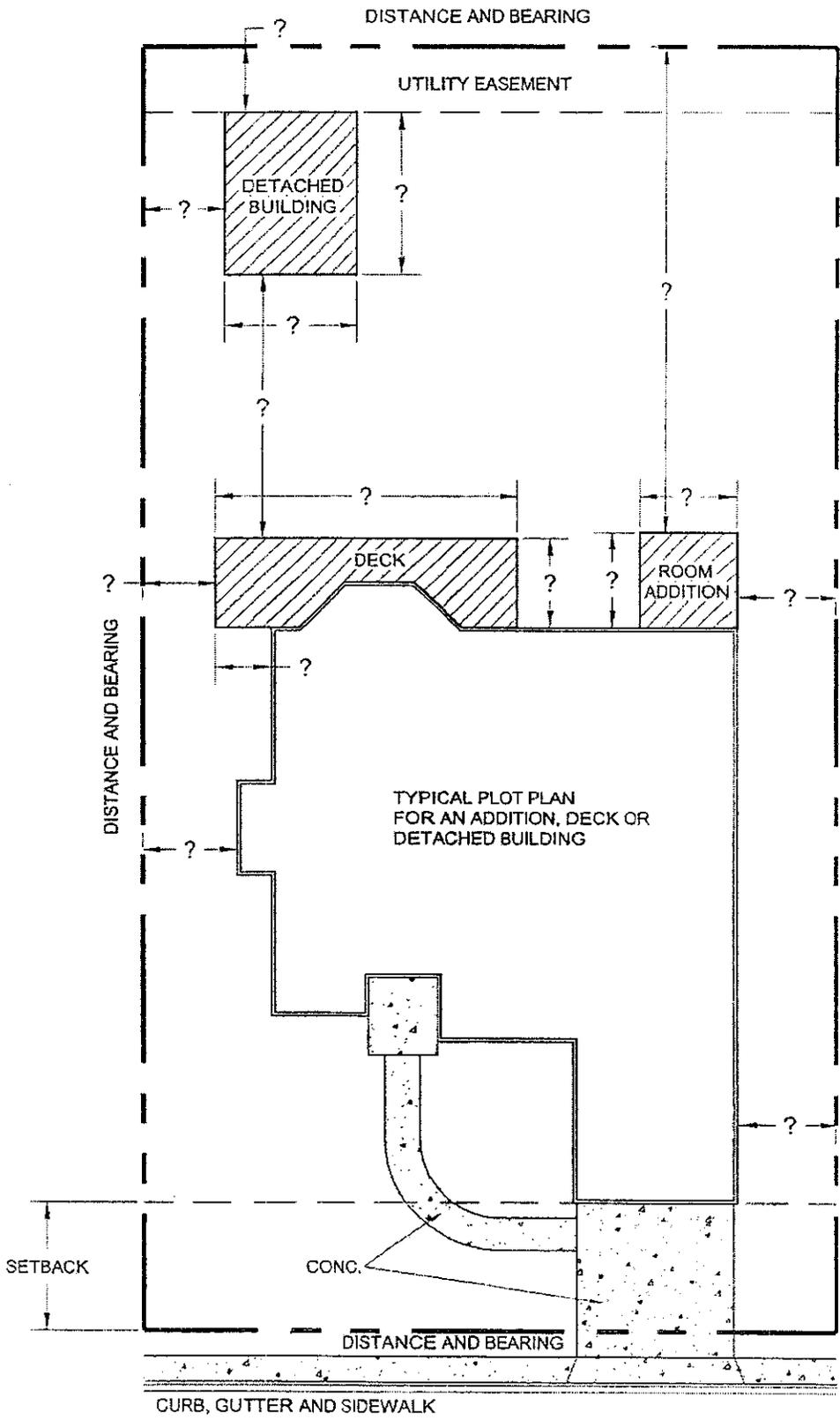
For an example of a Plot Plan see **Page 2**. The illustration shows several different types of additions and miscellaneous structures. Also noted is a list of all items required to be shown on the plot plan.

Required Items:

1. Property lines (boundaries) with dimensions.
2. Exterior dimensions of all proposed building, additions and structures, with dimensions to property lines. Also, any architectural projections such as bay windows, fireplaces, etc.
3. All existing and proposed public improvements such as curb, sidewalk, driveways, etc.
4. Dimensions and location of any easements.
5. Name and address and phone number of the property owner.
6. Address of the construction site.
7. North arrow and scale.



HINT: Graph paper can assist the novice in drawing plans to scale.



SCALE
(USE 1" = 20')

DISTANCE AND BEARING

UTILITY EASEMENT

DETACHED BUILDING

DECK

ROOM ADDITION

TYPICAL PLOT PLAN
FOR AN ADDITION, DECK OR
DETACHED BUILDING

CONC.

SETBACK

DISTANCE AND BEARING

CURB, GUTTER AND SIDEWALK

STREET NAME



PATIO COVERS

Plan Submittal Guidelines

City of San Ramon

Building & Safety Services

2226 Camino Ramon, San Ramon, CA 94583

Office: (925) 973-2580 Fax (925) 242-9312

www.sanramon.ca.gov

Prior to beginning your project, remember to always check with the Planning Department to confirm zoning requirements! Planning Department: (925) 973-2560

This information bulletin describes the minimum requirements for obtaining patio cover permits for residential buildings using either the City of San Ramon Patio Cover Standard Plan, ICBO approved plans, or other conventionally framed plans.

DEFINITION

1. Patio covers are one-story structures not more than 12 feet above grade and used only for recreational, outdoor living purposes and not as carports, garages, storage rooms or habitable rooms.
2. Patio covers may be attached or detached and are permitted only as accessory to one or two family dwellings or lodging houses or to individual dwelling units in multiple dwelling-unit buildings.

PERMIT REQUIREMENTS

Permits are required for all patio covers regardless of size. They may not encroach into any required yard or established setbacks. A final inspection must be passed before the work is considered completed by the City of San Ramon.

YOUR OPTIONS FOR SERVICE

Patio cover permits may be obtained *"over the counter" when using the City of San Ramon Patio Cover Standard & Detail Plan, ICBO approved plans or plans using conventional wood frame construction. Planning approval is required prior to permit issuance and is also usually "over the counter".

****PLEASE NOTE: Plans not meeting the criteria for over the counter plan check must be submitted for plan review. Plan check takes between 1-10 business days. When plan check is complete, the contact***

person for the project will be notified by telephone if either the permit is ready to issue, or if further information is required for approval.

DRAWINGS TO PROVIDE AND FORMS TO COMPLETE

1. Plans must be drawn to scale and must be of sufficient clarity to indicate the location, nature, and extent of the work proposed. Be sure to clearly label all existing and proposed construction. Minimum size plans are 8 1/2" x 11".
2. Plans must show, in detail, that the proposed work will conform to the provisions of the current California Building Code, Zoning Ordinances and all other relevant laws, ordinances, rules and regulations. Three sets of plans are required and must include the following:

A. Plot Plan

Clearly indicate property lines, setback distance from proposed structure to property lines, and any other structures on parcel.

B. Foundation and Framing Plans

- i) One copy of the City of San Ramon Patio Cover Standard & Detail, as listed on the following pages (specifications in this information bulletin) with the proposed footing sizes, rafter sizes, and beam sizes highlighted, or,
- ii) One copy of an International conference of Building Officials (ICBO) approved plan available from your material supplier, or,
- iii) Three copies of any other plan. These plans should include a roof framing plan, foundation plan, elevations, cross-sections, and connection details. See Figures 1 to 4.

❑ Permit Application

All projects must be submitted with a Building Permit Application. If you intend to obtain your permit on the same day as plan review, the application must be fully completed. If hiring a contractor, all contractor information is required and they must have or obtain a City of San Ramon Business License.

- If the property owner is doing the construction work or hiring a number of different contractors, a separate Owner-Builder Verification form must be signed by the owner before the permit can be issued.

❑ Construction Specifications

The following are the minimum construction specifications for patio covers.

The concrete mix for footings must meet a compressive strength of $f'c = 2,000$ psi minimum or the following proportions by volume:

1 part of Portland cement
2 ½ parts sand
3 ½ parts ¾-inch maximum-size gravel
7 gallons of water maximum per sack of cement.

Lumber must be Douglas fir-larch No2 or better. All lumber must be grade-marked. Joists, girders, and posts may be required to be protected against decay and termites. See Section 2306 of the CBC for details. All posts must be a minimum of 4" x 4".

The post anchorage and bracing details shown on the following sheets have been approved by the City of San Ramon for unenclosed patio covers.

1. Posts must be anchored at the lower end and must be braced at the upper end using any of the details shown in Figure 2. Decorative-type bracing may be substituted if the same resistance to lateral loading is provided.
2. Post anchorage to foundation may be accomplished with a standard approved post base installed per manufacturer's instructions. The footings must be adequate for the load applied.

Specify roof covering (shingles, shakes, etc.) when submitting plans. If nominal one-half-inch thick roof sheathing is used, the roof may have rafters spaced not more than 24" on center. If plastic roof coverings are used, installation must be according to manufacturer's recommendations and the corrugations must be placed perpendicular to and across the supports. Roof systems shall be sloped ¼ inch in 12 inches for drainage.

All electrical wiring and equipment must comply with regulations for exterior installation.

❑ INSPECTIONS

On the back of your permit is the inspection record card. The inspector signs this card as the construction is inspected and approved. The approved plans, the permit/inspection record card, are important records and should be retained.

A permit is active for 180 days to begin your project, the 1st inspection should be done within this time frame. Each subsequent inspection scheduled and passed extends the permit 60 days. Permits approaching expiration can be extended under special circumstances and must be approved by the Building Official. Extensions must be submitted in writing **PRIOR** to the expiration of the permit. **PLEASE NOTE:** Only one (1) extension may be granted.

Inspections are required at the following times:

- When footing have been excavated, **BEFORE** concrete is placed.
- When ledger beams are attached to an existing structure, and
- When work is complete.

<p><i>NOTE: that the project is not legally complete until there is an approved final inspection. To schedule an inspection, please call (925) 973-2582. Please have your permit handy as you will need the permit number, and inspection code number which is on the back of the permit.</i></p>

Figure 1/Typical Patio construction

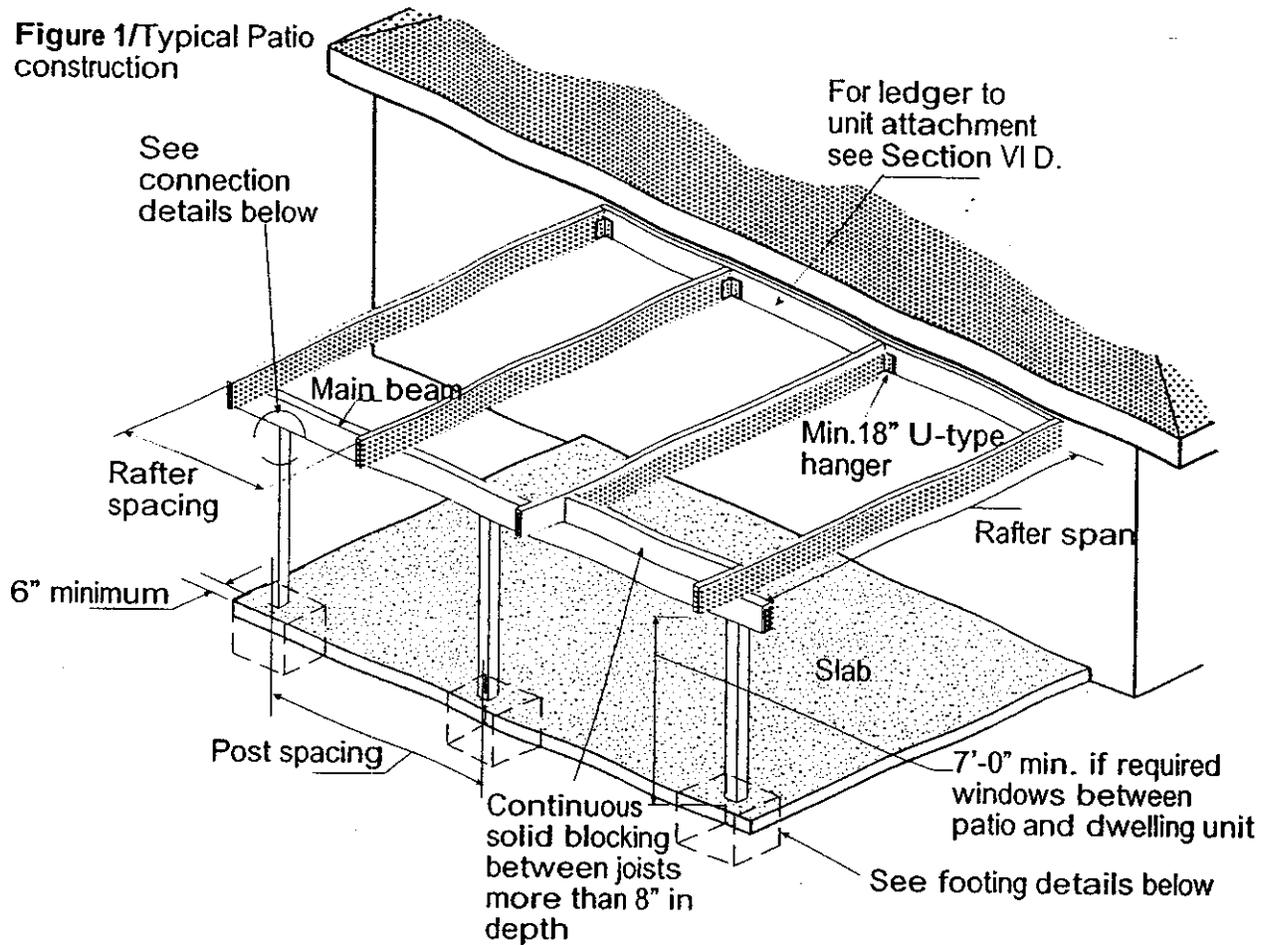
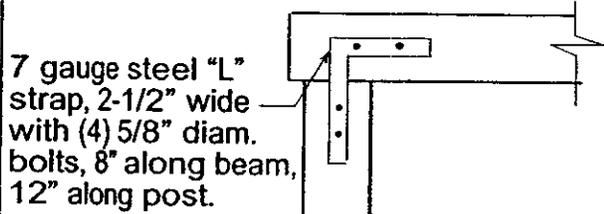
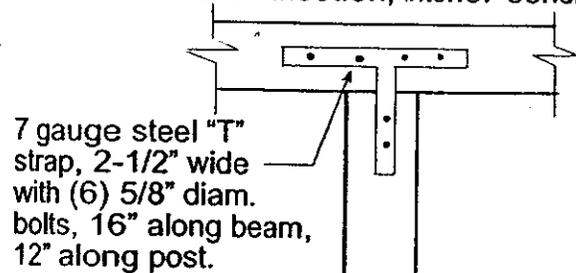


Figure 2/Connection, anchor and footing details

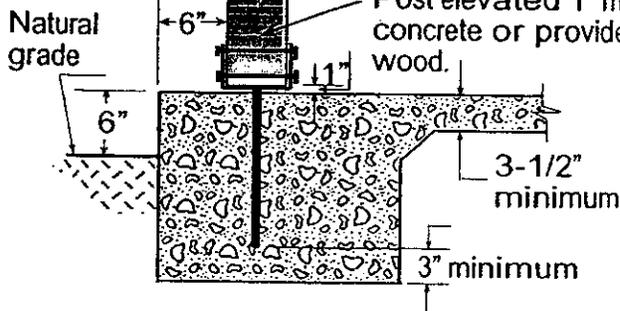
Case 1/Connection, end condition



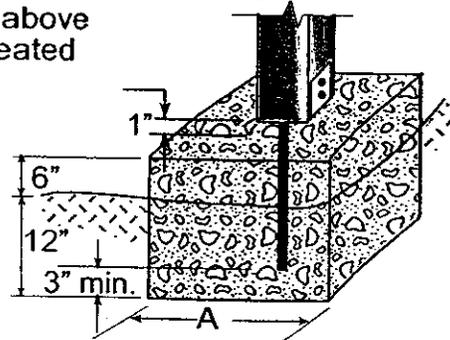
Case 2/Connection, interior condition

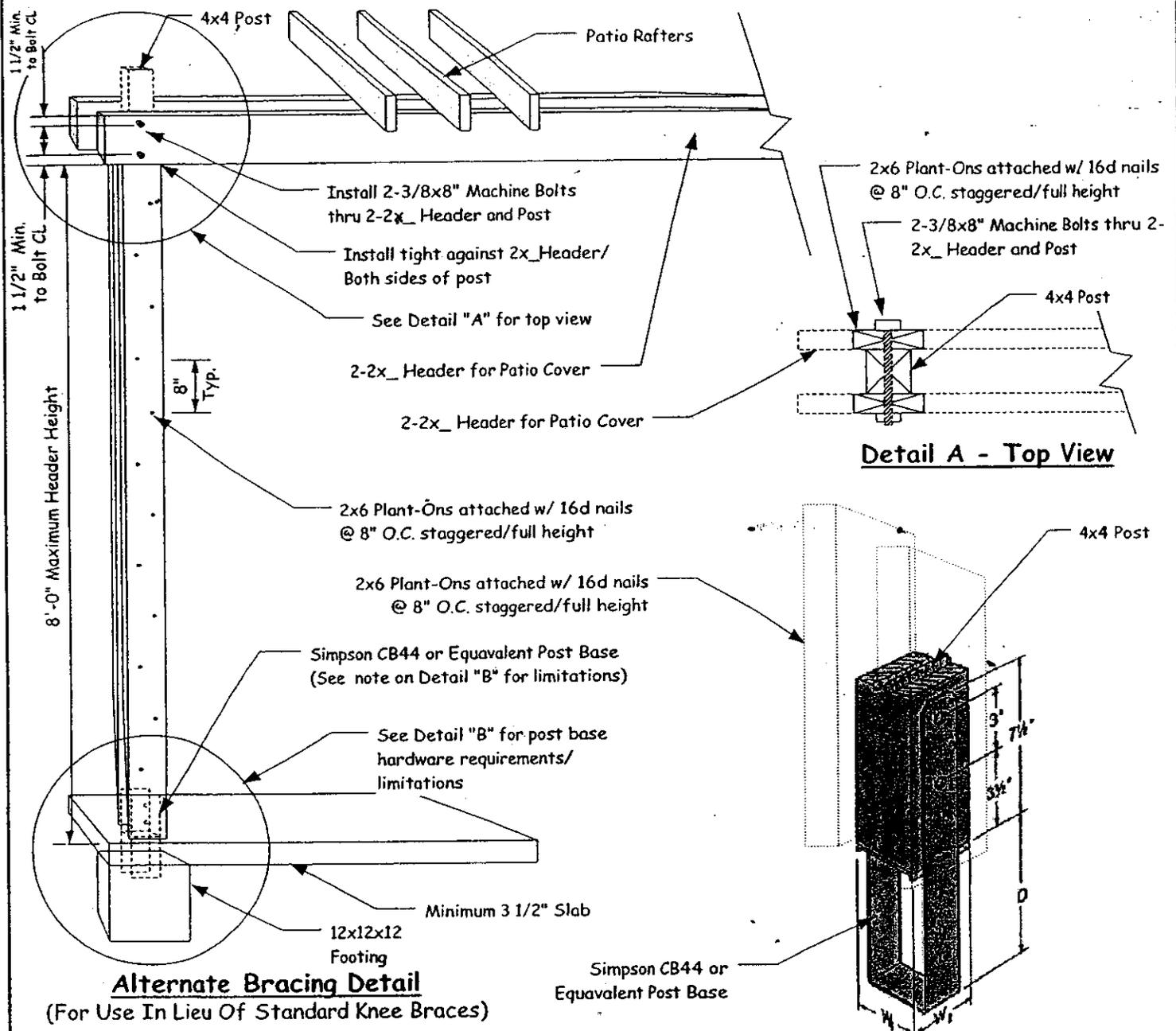


Case 3/Anchor and footing detail slab

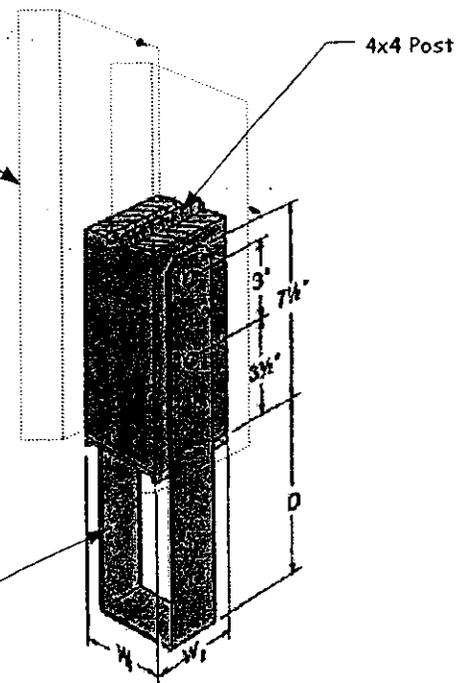


Case 4/Anchor and footing detail, isolated pier slab



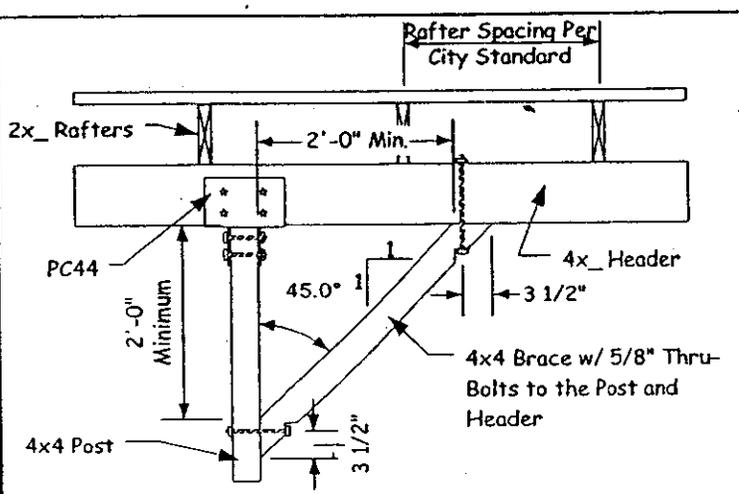


Detail A - Top View



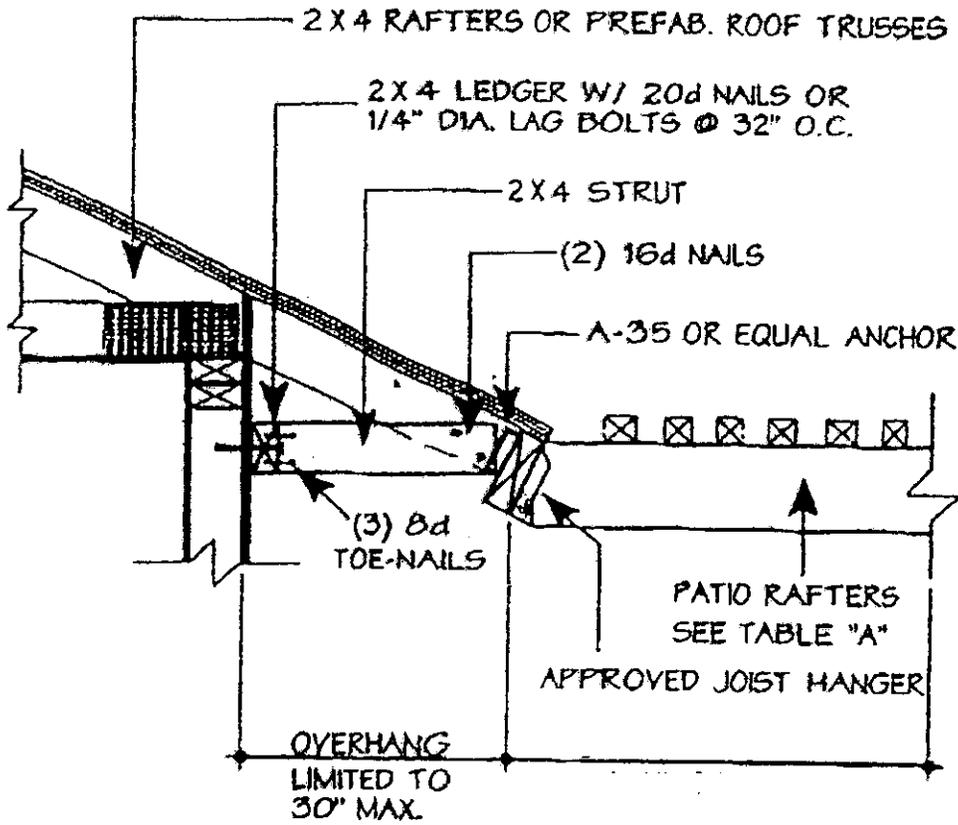
Detail B

NOTE: Simpson CB44 or a Post Base that provides an Equivalent Value must be used with the Alternate Bracing Detail. LCB Post Bases and similar substitutes may not be used when this alternate to the standard bracing required is used.

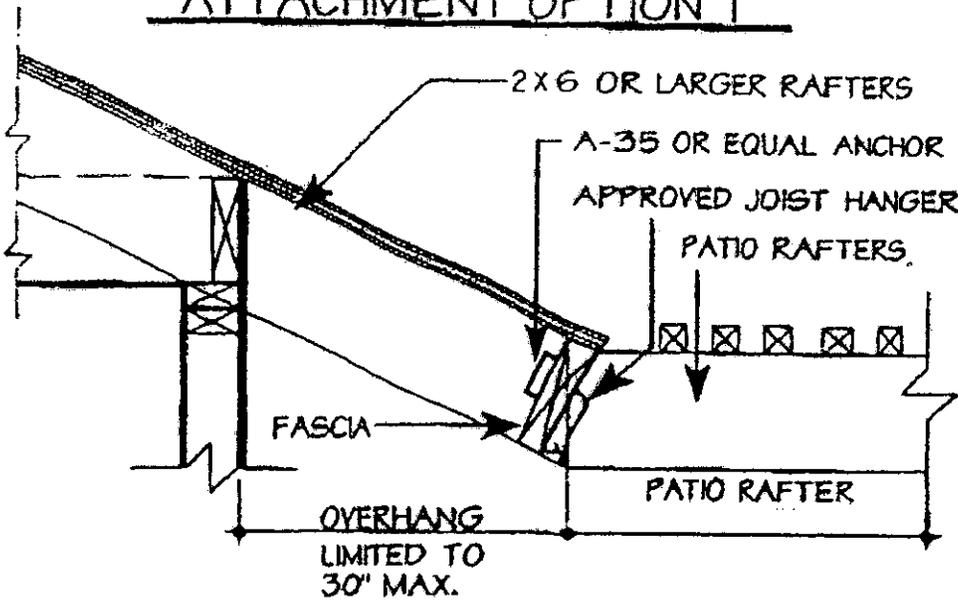


Standard (Required) Bracing Detail

	Building Services	
	Free Standing Patio Covers Bracing Details	
(925) 973-2580	2226 Camino Ramon, San Ramon, CA 94583	
Fax (925) 242-9312	09/23/2002	VPatioStd.vsd



ATTACHMENT OPTION 1



ATTACHMENT OPTION 2

	Building Services		
	Patio Cover Standard & Details		
2226 Camino Ramon, San Ramon, CA 94583			
Fax (925) 242-9312	09/23/2002	PatioStd.vsd	

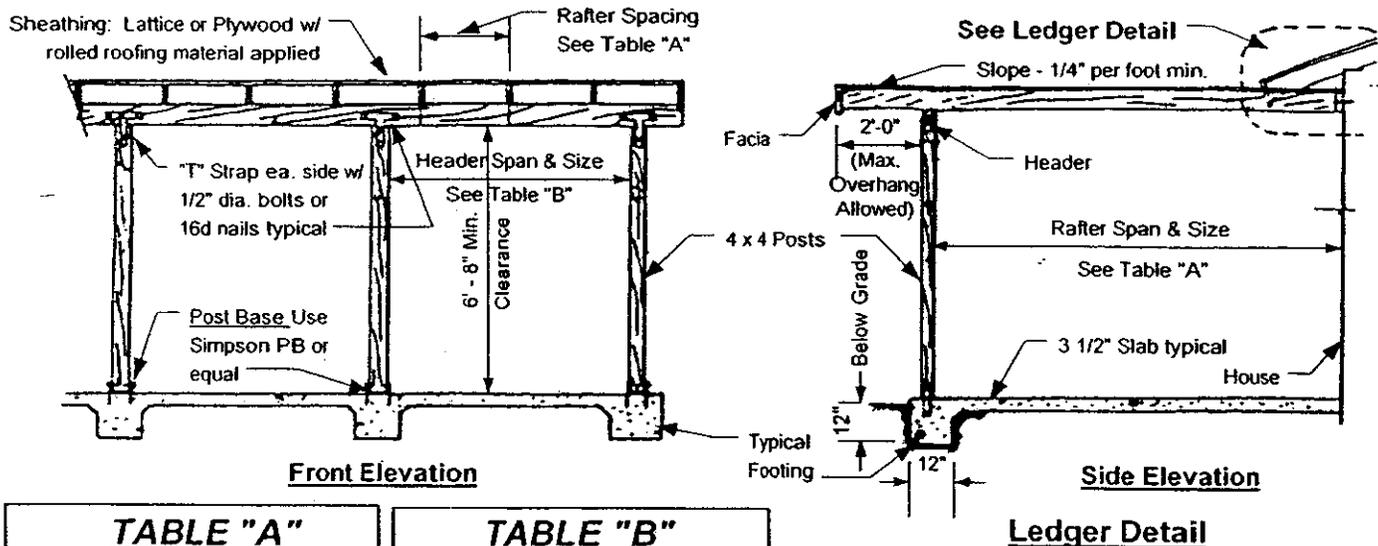


TABLE "A"

Rafter Spans
(Df#2 or Better)

SIZE	SPACING	SPAN
2 x 6	12" O.C.	15' - 11"
	16" O.C.	13' - 9"
	24" O.C.	11' - 3"
	32" O.C.	9' - 7"
2 x 8	12" O.C.	**20' - 0"
	16" O.C.	18' - 2"
	24" O.C.	14' - 10"
	32" O.C.	*12' - 8"
2 x 10	12" O.C.	**20' - 0"
	16" O.C.	**20' - 0"
	24" O.C.	18' - 11"
	32" O.C.	*16' - 2"

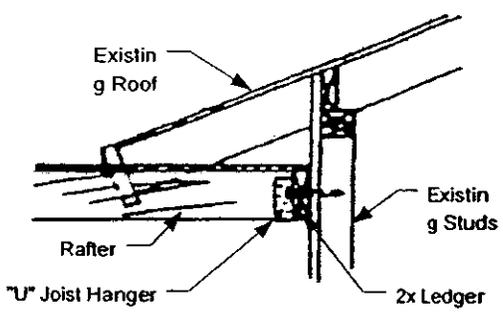
TABLE "B"

Header Size & Spans
(Df#2 or Better)

HEADER	
SPAN	SIZE
8'	4 x 8
10	4 x 10
12	4 x 12
14	4 x 14

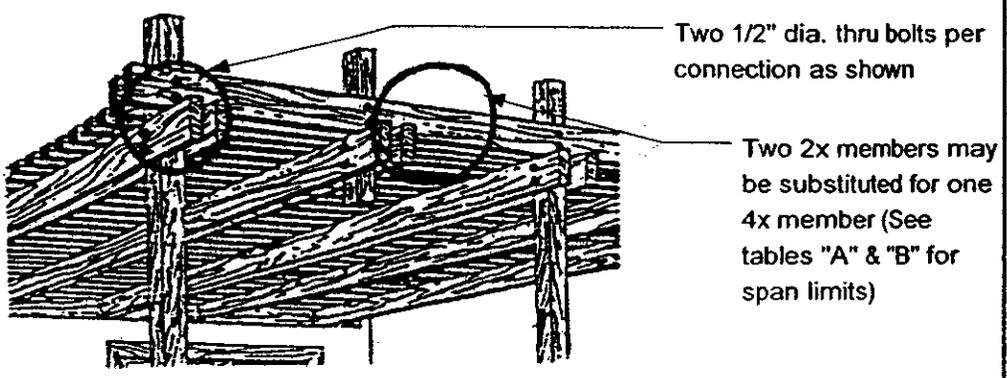
NOTE: REDWOOD MUST BE NO. 1 OR SELECT STRUC W/ THE CORRECT GRADE STAMP APPLIED!

Ledger Detail



Use a continuous 2x ledger, same depth as the rafters, with 3/8" dia. x 5" lag bolts to each stud (16" O.C.). When the rafter span is greater than or equal to 14'-0", use 1/2" dia. x 5" lag bolts.

Inverted Header Design Option



* This spacing & span is for Lattice Covering Only!
 ** Limit dictated by the Header Design (Table "B").
 *** Shear walls may not be modified unless structural calculations are submitted and approved by the Building Department

(925) 973-2580
 Fax (925) 242-9312

Building Services
Patio Cover
Standard & Details

2226 Camino Ramon, San Ramon CA 94583
 09/23/2002 | PatioStd.vsd