



Dougherty Valley Information

July 2005

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Reference Documents (on File in City Planning Department)

- Dougherty Valley Specific Plan (updated August 2005)
- Village Center Neighborhood Plan (December 2003)
- Affordable Housing Agreement (2001 & 1996)
- Memorandum of Understanding (1997)
- Dougherty Valley Specific Plan (1996)
- Settlement Agreement (1994)
- Dougherty Valley Community Design Handbook

This document was composed by City of San Ramon staff to update the major milestones within Dougherty Valley. It is a snapshot in time of an ever evolving process. References to approved documents have been made in some areas and these documents can be found on file in the City of San Ramon Planning Department.

Summary

Dougherty Valley entails 5,979 acres of land east of the City of San Ramon and within Contra Costa County. It addresses the creation of a variety of housing types in close proximity to jobs and enhances environmental quality through the creation of regional open space and multiple internal recreational linkages. The development pattern includes clusters of homes supported by retail and community services and conserves surrounding hillsides and ridges on the site as permanent open space.

The Dougherty Valley Specific Plan was originally approved in 1992 by the Contra Costa County Board of Supervisors to include 11,000 units. The 1992 Plan was amended in 1996 to incorporate Dublin San Ramon Services District as the designated water provider. The 1996 Plan was subsequently amended in August 2005 to:

1. Update text and figures, correct format and figure citations, and generally bring the document into conformance with regulations and entitlements (tentative maps) approved by the County since the Dougherty Valley Specific Plan was adopted on November 19, 1996;
2. Update changes in the plan to reflect the requirements of certain agencies which resulted in changes in the design of facilities and development within the Specific Plan area in order to avoid impacts to sensitive habitat areas and to expand coverage and protection of habitat areas. This includes requirements of the California Department of Fish and Game (DFG), the U.S. Army Corps of Engineers (ACOE), the California Regional Water Quality Control Board (RWQCB), and United States Department of Interior, Fish and Wildlife Service (USFWS);
3. Remove all references in the Specific Plan relating to the requirements for a provision of trail overcrossing (bridge) structures in the Dougherty Valley Specific Plan area; and
4. Update the Land Use Map to reflect the realignment of Dougherty Road and changes in land use designations.

The build out of Dougherty Valley is processed through Contra Costa County with oversight from the City of San Ramon. After a home is occupied by a new resident, all subsequent permitting (including landscaping, swimming pools, etc.) is processed through the City of San Ramon.

Dougherty Valley includes two main developers; Shapell Industries and Windemere Ranch Partners BLC (which includes Brookfield Homes, Centex Homes and Lennar Communities).

Number of Homes

Dougherty Valley is expected to be built in 9 various phases by Windemere BLC (5 phases) and Shapell Industries (Gale Ranch 4 phases) to contain 11,000 homes at buildout with an estimated population of 29,000. Buildout is expected to occur around 2015.

As of 2005 all phases of Dougherty Valley have been approved by County Planning Commission and Vesting Tentative Maps have been issued for all 11,000 units.

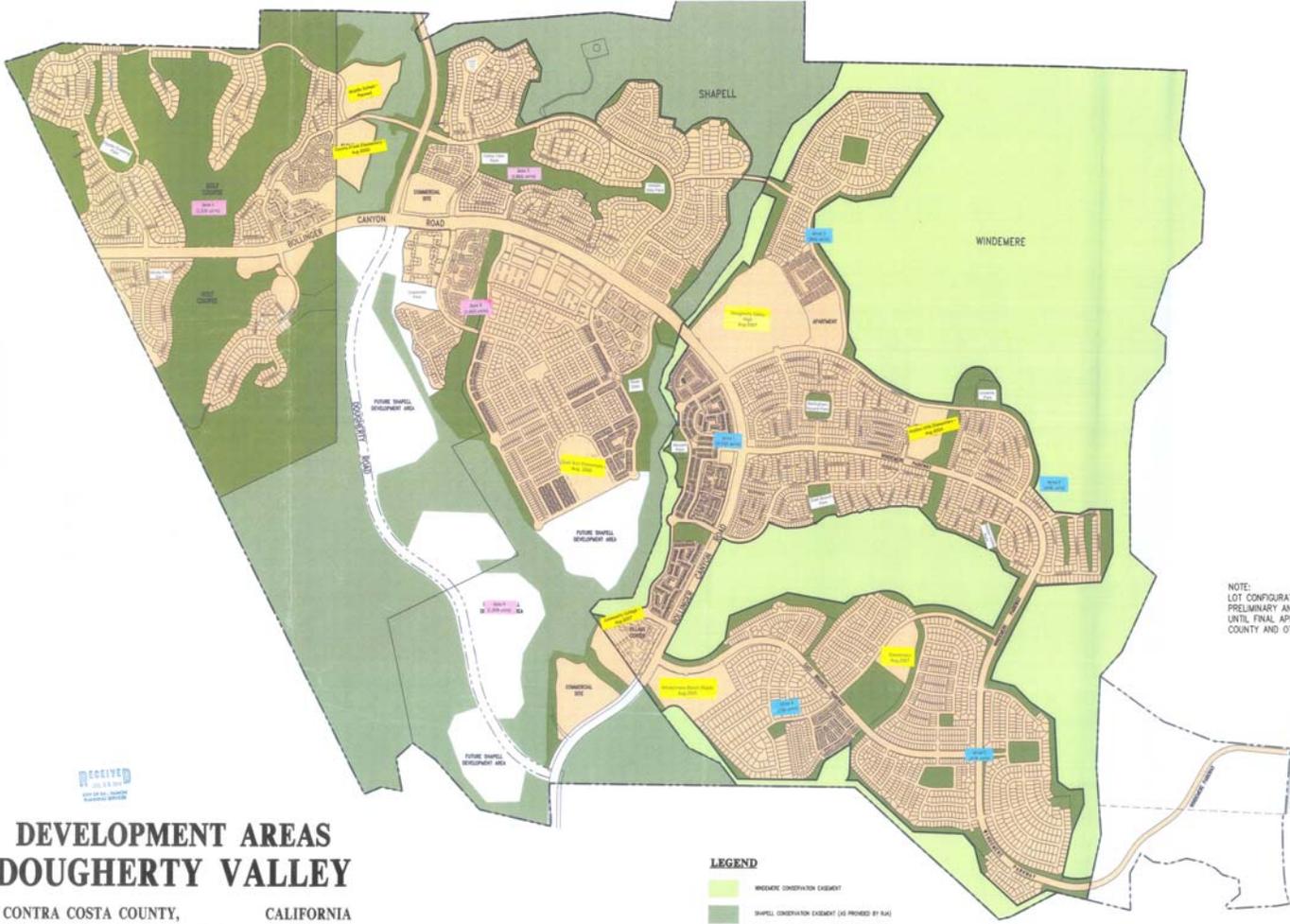
Prior to a building permit being issued by Contra Costa County, each of the residential and commercial products are first reviewed by the City's Architectural Review Board (ARB). The ARB is a five member board and they are charged with reviewing the design of improvements in relation to architectural design, height, bulk, mass, materials, colors, lighting, signage, landscaping, etc to ensure the highest level of design standards and quality for the City of San Ramon. The ARB uses the Dougherty Valley Community Design Handbook which was adopted in 1992 as a guideline for review. Table 1 below shows the number of units in each phase, the County Planning Commission approval date of each phase, the ARB review status and the approximate building status.

Table 1: Development Status

Windemere	Number of Units	Approval Status	ARB Review Status	Building Status
Phase 1	2,232	Approved December 1996	Review Complete	80% built out and occupied
Phase 2	448	Approved November 19, 2002	Review Complete	Almost 90% built out and occupied
Phase 4	758	Approved April 27, 2004	Review Complete	Move-in's starting Summer 2005
Phase 3	856	Approved April 27, 2004	Review 2006	Not Available
Phase 5	876	Approved April 27, 2004	Reviewed 3 of 10 Villages	Move-in's starting Spring 2006
	5,170			

Gale	Number of Units	Approval Status	ARB Review Status	Building Status
Phase 1	1,216	Approved December 1994	Review Complete	90% built out and occupied
Phase 2	1,885	Approved December 1996	95% review complete	65% built out and occupied
Phase 3	1,423	Approved October 28, 2003	Review 2005	Will start selling homes 2006
Phase 4	1,306	Approved January 25, 2005	Possibly 2006	Not Available
	5,830			

Figure 1 included on the following page depicts the Dougherty Valley area. Pink and blue labels represent the phase and number of units. Yellow labels represent Schools and white labels represent approved Parks.



NOTE:
LOT CONFIGURATION AND LAND USES ARE
PRELIMINARY AND SUBJECT TO CHANGE
UNTIL FINAL APPROVAL BY CONTRA COSTA
COUNTY AND OTHER GOVERNING AGENCIES.

DEVELOPMENT AREAS DOUGHERTY VALLEY

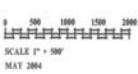
CONTRA COSTA COUNTY, CALIFORNIA

LEGEND

- MODERATE CONSERVATION EASEMENT
- SHAPPELL CONSERVATION EASEMENT (AS PROVIDED BY EAS)
- OTHER OPEN SPACE
- APPROVED DEVELOPMENT AREAS
- FUTURE DEVELOPMENT AREAS

SHEET
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OF 1

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DATE PLOTTED: 05/12/04
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Population

Below is the expected population for Dougherty Valley over the next 5 years for both the entire Dougherty Valley and the rolling annexations (see below for annexation information). Currently Dougherty Valley is at about **7,900 residents** (3,200 homes) with anticipation to add approximately **2,520 residents a year** (900 homes).

A County Service Area (CSA) was created for the entire Dougherty Valley as a funding source for street lighting, park maintenance, street maintenance, and police services. Table 2 below depicts the population of the entire CSA and those areas annexed to the City of San Ramon.

Table 2: Absorption Calculations

	Actual 2003-04	Budget 2004-05	Budget 2005-06	Budget 2006-07	Budget 2007-08	Budget 2008-09
Absorption Calculations (Entire CSA)						
RESIDENTIAL DEVELOPMENT						
1a. Shapell Housing Units ⁽¹⁾	254	358	385	319	439	336
1b. Shapell Apartments	-	90	86	90	130	130
2a. Windemere Housing Units ⁽¹⁾	602	412	492	266	312	312
2b. Windemere Apartments	-	-	300	300	300	100
Annual Absorption	856	860	1,263	975	1,181	878
Annual Population (2.8 per household)	2,397	2,408	3,536	2,730	3,307	2,458
Cumulative Absorption	2,403	3,263	4,526	5,501	6,682	7,560
Cumulative Absorption (Homes)	2,147	2,917	3,794	4,379	5,130	5,778
Cumulative Absorption (Apartments)	256	346	732	1,122	1,552	1,782
Cumulative Population (2.8 per household)	6,728	9,136	12,673	15,403	18,710	21,168
Adjust for Current Construction Period ⁽²⁾	50%	50%	50%	50%	50%	50%
Adjusted Total Population	5,530	7,932	10,905	14,038	17,056	19,939
Absorption Calculations (annexed to the City of San Ramon only) ⁽³⁾						
RESIDENTIAL DEVELOPMENT						
1. Shapell Housing Units ⁽¹⁾	36	345	385	348	367	330
2. Windemere Housing Units ⁽¹⁾	-	270	300	-	-	-
Annual Absorption	36	615	685	348	367	330
Annual Population	101	1,722	1,918	974	1,028	924
Cumulative Absorption	1,105	2,900	3,688	4,528	5,051	5,381
Cumulative Population	3,094	8,120	10,326	12,678	14,143	15,067
Adjust for Current Construction Period ⁽²⁾	50%	50%	50%	50%	50%	50%
Adjusted Total Population	3,044	3,955	9,079	10,814	13,192	14,605

Annexations

Annexations of the housing developments into the City of San Ramon occur on an annual basis. After a final map for each phase has been filed, per the Settlement Agreement, the City may begin annexation proceedings for that area. This process can take between 6-18 months. It entails 2 Planning Commission Meetings, 2 Council Meetings and a Hearing at the Local Agency Formation Commission Organization (LAFCO). In order for the annexation to take effect for the subsequent year and for the City to recognize property tax revenue, the annexation must be certified by the State Board of Equalization no later than December 1st. Therefore the annexation process begins in approximately March of each year. See Table 3 below for the current annexation status.

Table 3: Annexation Status

Annexations	Number of Units	Year	Development
LAFCO98-33	191	1998	Gale 1 North of Bollinger Canyon
LAFCO99-35	765	1999	Gale 1 North of Bollinger Canyon
LAFCO01-20	260	2001	Gale 1 South of Bollinger Canyon
LAFCO03-26	599	2003	Portion of Gale 2 North of Bollinger Canyon
LAFCO03-27	2,232	2003	All of Windemere Phase 1
LAFCO04-15	448	2004	All of Windemere Phase 2
LAFCO05-11	1,286	2005	Remaining Portion of Gale 2
LAFCO05-11	758	2005	All of Windemere Phase 4
	600	2006	Portion of Gale 3
	876	2006	All of Windemere Phase 5
	856	2007	All of Windemere Phase 3
	823	2007	Remaining Portion of Gale 3
	<u>1,306</u>	2008	All of Gale 4
	11,000		

Affordable Housing

Per the Affordable Housing Agreement approved in 1994 and amended in 2001, Table 4 below shows the make-up of affordable housing in Dougherty Valley, which allows San Ramon to comply with the Affordable Housing section of their General Plan. Table 5 below depicts the unit update.

Table 4: Affordable Housing Breakdown

	Total Dwelling Units	Total Affordable Dwelling Units (25% of total)
Windemere	5,170	1,293
Gale Ranch (Shapell)	<u>5,830</u>	<u>1,458</u>
	11,000	2,750

	Affordable Unit Requirement		
	Very Low Income (10% of affordable)	Low Income (25% of affordable)	Moderate Income (65% of affordable)
Windemere	129	323	840
Gale Ranch (Shapell)	<u>146</u>	<u>364</u>	<u>947</u>
	275	688	1,788

Table 5: Affordable Housing Unit Update

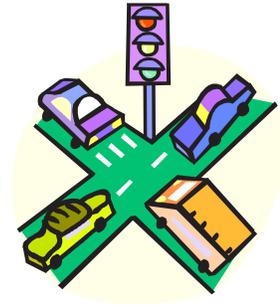
Windemere	Number of Units	Type	ARB Review Status	Building Status
Phase 1 - Muirlands	350	Low/Very Low Rental Apartments	Review Complete 2003	10-15% occupied
Phase 1 - Mill Creek	400	Moderate Rental Apartments	Review Complete 2003	10-15% occupied
Phase 1 - Canyon Oaks	250	Moderate Rental Apartments	Review Complete 2003	10-15% occupied
Phase 3	293	Apartments	Review Possibly 2006	
	<u>1,293</u>			

Gale	Number of Units	Type	ARB Review Status	Building Status
Phase 1 - Falcon Bridge	256	Moderate Rental Apartments	Review Complete 1996	100% built out and occupied
Phase 2 - Cornerstone	266	Moderate Rental Apartments	Review Complete 2003	60% built and occupied
Phase 2 - Renaissance	124	For Sale Moderate Single Family	Review Complete 2003	100% built out and occupied
Phase 3	381	Apartments	Review Possibly 2006	
Phase 4	<u>431</u>	Apartments	Review Possibly 2007	
	<u>1,458</u>			

Please refer to Figure 1 on Page 5 to identify those areas listed below.

Transportation

The transportation system creates a network for pedestrian and bicycle travel, while making provisions for light rail.



- Windemere has 3 major roadways
 - Windemere Parkway through to Camino Tassajara (completion possibly late 2006)
 - East Branch Parkway (possibly late 2007)
 - Bollinger Canyon east then south through to Dougherty (opened Fall 2003)

- Gale Ranch has 2 major roadways
 - Bollinger Canyon Road east to Windemere (opened Fall 2002)
 - Dougherty Road south through to Old Dougherty Road (completion possibly 2008)

Community Facilities

Community facilities are planned throughout the valley and include a

- Golf Course (opened 1999);
- Fire Station (opened July 2002) corner of Bollinger Canyon & Windemere Parkway;
- Canyon Crest Presbyterian Church & Pre-school (approved and estimated to open 2006);
- Village Center which includes
 - City Community Center (approved and estimated Fall 2005),
 - Police Substation (approved and estimated Fall 2005),
 - City Library (approved and estimated Fall 2005), and
 - Acorn Daycare Facility (approved and estimated Fall 2006).
- City Public Services Center (estimated 2008); and
- Senior Center (estimated 2010).

Village Center



Village Center will be the heart of Dougherty Valley and will house many of the Community Facilities mentioned above. City staff was heavily involved on a “Village Center Task Force” composed of both

the County Staff and Developers and was put in place to outline the character of Village Center. A Neighborhood Development Plan for Village Center was approved in December 2003. Phase I of the Village Center which includes the Community College, Community Library, Community Center, and Police Substation is under construction and slated to open Fall 2005.

Commercial/Retail

Currently there is an 11.0 acre commercial site planned in Gale Phase 2, at the north-east corner of Bollinger Canyon and Dougherty Valley Roads. This was reviewed at ARB in July 2004. This commercial center is expected to open in **Spring 2007** and will include a 59,000 sq ft Grocery Store (Safeway), 25,000 sq ft of Office Space, 7,000 sq ft of Restaurants and 35,000 sq ft of Retail/Shops.

In addition, the Village Center located in the southern portion of Windemere Phase 1 will contain the majority of the commercial/retail facilities of approximately 207,000 square feet, which are anticipated to be reviewed within the next 5 years.

Water/Sewer Provider

For water services East Bay Municipal Utility District (East Bay MUD), provides service to Gale Phase 1. Dublin San Ramon Services District (DSRSD) provides service to the remaining phases of Dougherty Valley. Central Contra Costa Sanitary District (CCCSD) provides sewer service to all of Dougherty Valley.

Schools

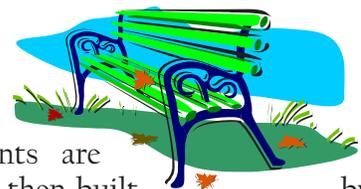
Many schools have been planned for Dougherty Valley and include:

- Diablo Valley Community College (approved and scheduled to open **August 2007**);
- High School (1) (Dougherty Valley High) which is located in Windemere Phase 3 and is scheduled to open **August 2007**;
- Middle Schools (2)
 - Windemere Ranch Middle School - corner of Bollinger Canyon and East Branch Parkway **August 2005**;
 - Gale 1 Middle School across from Coyote Creek Elementary, **no set date**.
- Elementary schools (4)
 - Coyote Creek Elementary located in Gale Phase 1 and opened in **August 2000**;
 - Hidden Hills Elementary located in Windemere Phase 1 and opened in **August 2004**;
 - Quail Run Elementary located in Gale Phase 3 and is scheduled to open **August 2006**; and
 - Elementary School located in Windemere Phase 4 and is scheduled to open **August 2007**.



Parks

The park system in Dougherty Valley has been established to keep in track with the City of San Ramon General Plan at 6.5 acres of parkland per 1,000 population. Parks are reviewed by the San Ramon Parks Community Services Commission and comments are forwarded to Contra Costa County Public Works Staff. Parks are then built by the Developers with oversight from Contra Costa County. Once construction is complete, the Park is accepted by the Contra Costa County Board of Supervisors and then subsequently accepted by the City of San Ramon at a Council Meeting. Parks are not available for use by residents until this last step is complete at the San Ramon Council Meeting. The following is a list of parks within Dougherty Valley.



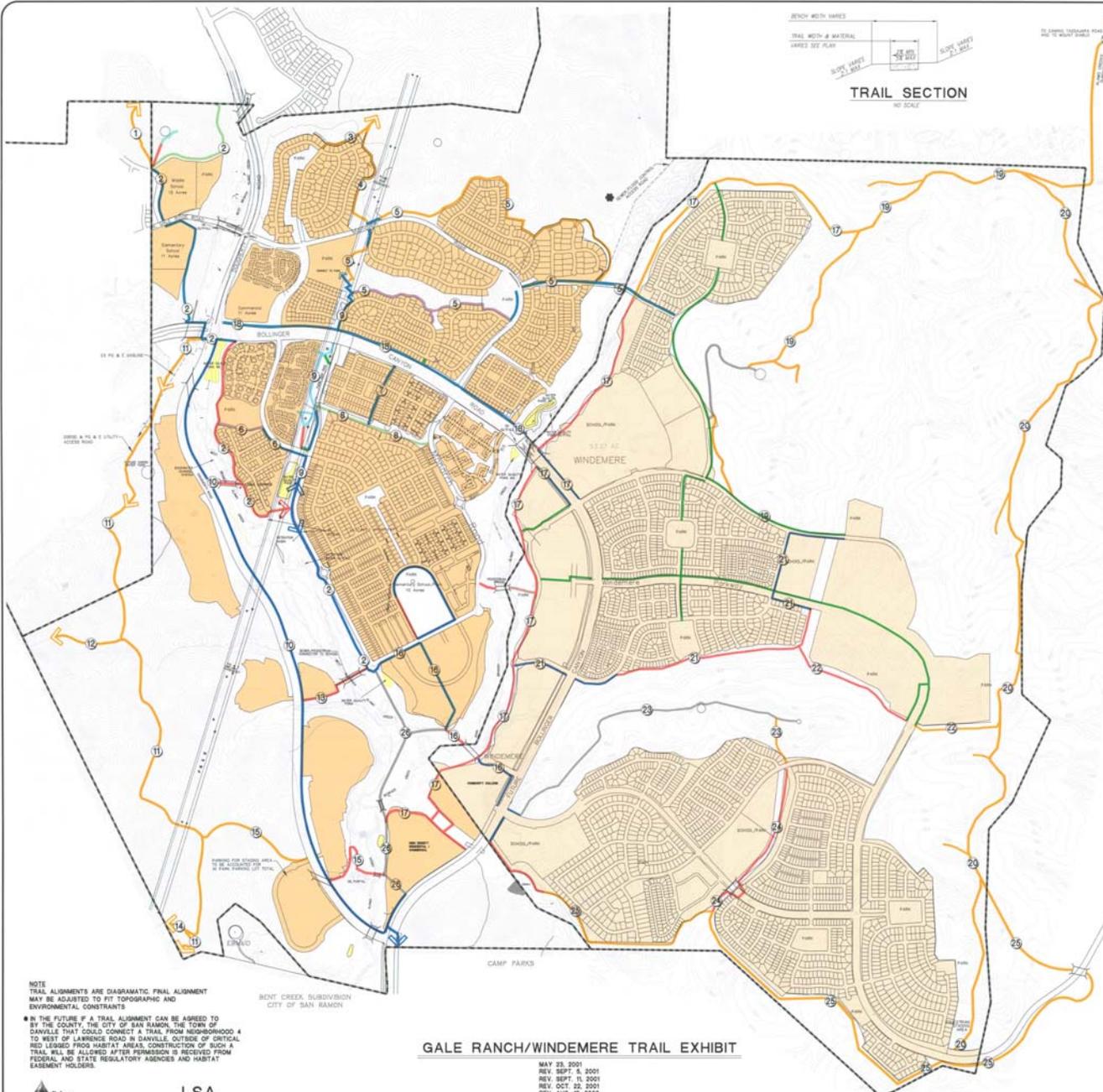
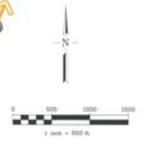
- Windemere Phase 1
 - Bellingham Square Park (4.1 acres) opened **2004**,
 - Souyen Park (Main Branch) (2.4 Acres) will open **July 2005**,
 - East Branch Park (5.1 acres) opened **2004**; and
 - Hidden Hills Elementary School Park (5.0 acres) opened **August 2004**.
- Windemere Phase 2
 - Hidden Valley Park (6.5 acres) was reviewed by Parks Commission April 2003 and is **currently under construction**;
 - Limerick Park (Creekside) (3.0 acres) was reviewed by Parks Commission April 2003 and is **currently under construction**.
- Windemere Phase 4
 - San Ramon Sports Community Park (15.00 acres) approved by Parks Commission Nov 2004 and is **currently under construction**;
 - Pocket Park (1.50 acres) is to be reviewed at the Parks Commission July 13, 2005;
 - Windemere Ranch Middle School Park (20.20 acres) is **currently under construction**; and
 - Elementary School Park (10.00 acres).
- Windemere Phase 5
 - Pocket Park 5I (2.50 acres);
 - Pocket Park 5M (1.40 acres);
 - Pocket Park 5S (1.10 acres);
 - Neighborhood Park 5A (4.10 acres) was reviewed by Parks Commission April 2005;
 - Neighborhood Park 5B (4.00 acres) was reviewed by Parks Commission April 2005; and
 - Staging Area & Dog Park (0.50 acres) was reviewed by Parks Commission March 2005.
- Windemere Phase 3
 - One Neighborhood Park (4.10 acres); and
 - Dougherty Valley High School Park.
- Gale Phase 1
 - Coyote Crossing Park (11.96 acres) opened **July 2001**;
 - Coyote Crossing School Park (5.23 acres) opened **August 2000**;
 - East Pocket Park in Subd 8135 (.816 acres) opened **2003**; and
 - Windy Hills Park (1.19 acres) scheduled to open **July 2005**.
- Gale Phase 2
 - Hidden Crest Park (N1-2.0 acres) – is **currently under construction**;
 - Valley View Park (N9 - 10.8 acres) is **currently under construction**;
 - Creekside Park (N11 – 6.8 acres) –was reviewed by Parks Commission 2004; and
 - Hidden Hills Park (N2 - 6.9 acres) – was reviewed by Parks Commission 2005.
- Gale Phase 3
 - Rose Glenn (formerly Creekside Park - 11.2 acres) – was reviewed by Parks Commission March 2005 and named 6/8/05;
 - Quail Run School Park (9.80 acres) –was reviewed by Parks Commission February 2005; and
 - Linear Park (4.0 acres).

- Gale Phase 4
 - Community Park (30.3 acres);
 - Neighborhood 3B Park (1.00 acres);
 - Neighborhood 3A Park (0.70 acres);
 - Neighborhood 6A Linear Park (0.80 acres);
 - Neighborhood 6A Neighborhood Park (0.60 acres);
 - Neighborhood 6A Overlook Park (0.40 acres); and
 - Neighborhood 6B Recreation Park (1.5 acres).

Open Space/Trails

Dougherty Valley will entail 2,093 acres of un-improved open space which will be passive and under the jurisdiction of the California Department of Fish and Game.

In addition, a trail system has been established to link into the regional trail systems provided throughout Alameda and Contra Costa Counties. These trails vary in width and material and are depicted on Figure 2 on the following page. Figure 2 is a trails map that was updated as of December 2004.



- 1 LILAC RIDGE TRAIL
- 2 WEST ALAMO CREEK TRAIL
- 3 STAR JASMINE TRAIL
- 4 MONARCH RIDGE TRAIL
- 5 MONARCH LOOP TRAIL
- 6 WEDGEWOOD TRAIL
- 7 ROSE GARDEN TRAIL
- 8 BASSWOOD TRAIL
- 9 REDHAWK TRAIL
- 10 HUMMINGBIRD TRAIL
- 11 DOUGHERTY VALLEY RIDGE TRAIL
- 12 COYOTE CANYON TRAIL
- 13 MOURNING DOVE TRAIL
- 14 JACK RABBIT RIDGE TRAIL
- 15 QUAIL RUN TRAIL
- 16 VILLAGE CENTER TRAIL
- 17 ALAMO CREEK TRAIL
- 18 BOLLINGER CANYON ROAD TRAIL
- 19 HIDDEN VALLEY RIDGE TRAIL
- 20 TASSAJARA RIDGE TRAIL
- 21 EAST ALAMO CREEK TRAIL
- 22 LIVE OAK TRAIL
- 23 WINDEMERE RIDGE TRAIL
- 24 SYCAMORE GROVE TRAIL
- 25 ROLLING HILLS TRAIL
- 26 OLD DOUGHERTY ROAD TRAIL

- LEGEND
- PROJECT SITE BOUNDARY
 - DEVELOPMENT POB OUTLINE
 - 12'-22' AC TRAIL
 - 12' CONCRETE TRAIL
 - 12' EARTH TRAIL
 - WIDTH VARIES DEPENDING ON GRADE
 - 8' AB TRAIL
 - 10' AB TRAIL
 - WIDTH VARIES DEPENDING ON GRADE
 - 10' CONCRETE TRAIL/SIDEWALK
 - 8' CONCRETE TRAIL/SIDEWALK
 - ALTERNATE 8' CONCRETE TRAIL/SIDEWALK
 - 8' CONCRETE TRAIL
 - 8' CONCRETE TRAIL
 - 8' EARTH TRAIL

Date	No.	Description
04/11/02	1	Revised Trail Alignments, Widths & Surfaces
04/12/02	2	Revised Trail Alignments, Widths & Surfaces
12/07/04	3	Added Trails & Trail Names

NOTE
TRAIL ALIGNMENTS ARE DIAGRAMATIC. FINAL ALIGNMENT MAY BE ADJUSTED TO FIT TOPOGRAPHIC AND ENVIRONMENTAL CONSTRAINTS.

IN THE FUTURE IF A TRAIL ALIGNMENT CAN BE AGREED TO BY THE COUNTY, THE CITY OF SAN RAMON, THE TOWN OF DANVILLE THAT WOULD CONNECT A TRAIL FROM NEIGHBORHOOD 4 TO WEST OF LAWRENCE ROAD IN DANVILLE, OUTSIDE OF CRITICAL RED LISTED FROG HABITAT AREAS, CONSTRUCTION OF SUCH A TRAIL WILL BE ALLOWED AFTER PERMISSION IS RECEIVED FROM FEDERAL AND STATE REGULATORY AGENCIES AND HABITAT EASEMENT HOLDERS.

GALE RANCH/WINDEMERE TRAIL EXHIBIT

MAY 23, 2001
REV. SEPT. 5, 2001
REV. SEPT. 11, 2001
REV. OCT. 22, 2001
REV. AUG. 12, 2002



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12/21/04
PHASE 4 VTM/FPD
DATE 08/20/04

The following chart shows the History of Documentation in Dougherty Valley, including Council Action and major agreements signed.

<u>DATE</u>	<u>DOCUMENT</u>
07/13/05	Annexation #8(LAFC 05-11), Annexation #9(LAFCO 05-11) Completed which included all of Windemere Phase 4 and remainder of Gale 2
06/14/05	Dougherty Valley Specific Plan Amendment Approved at County Planning Commission
05/24/05	Annexation #8(LAFC 05-11), Annexation #9(LAFCO 05-11) approved at City Council which included all of Windemere Phase 4 and remainder of Gale 2
03/08/05	CSA Interim Reimbursement Agreement Approved at Council (FY03-04 plus advance for FY04-05) - \$1,393,644
01/25/05	Gale Ranch Phase 4 approved at County Planning Commission
09/15/04	Annexation #7(LAFC 04-15) Completed which included all of Windemere Phase 2
06/22/04	Annexation #7(LAFC 04-15) approved at Council which included all of Windemere Phase 2
05/11/04	CSA Interim Reimbursement Agreement Approved at Council (FY02-03 plus advance for FY03-04) - \$1,048,562
04/27/04	Windemere Phases 3-5 approved at County Planning Commission
12/03	Village Center Neighborhood Plan approved at County Planning Commission
10/28/03	Gale Ranch Phase 3 approved at County Planning Commission
10/8/03	Annexation #4(LAFC 03-26), Annexation #5(LAFC 03-27) Completed which included a portion of Gale Ranch Phase 2 (north of Bollinger Canyon) and all of Windemere Phase 1
8/26/03	CSA Interim Reimbursement Agreement Approved at Council (FY97-98 thru FY01-02 plus advance for FY02-03) - \$1,024,843
06/22/03	Annexation #4(LAFC 03-26), Annexation #5(LAFC 03-27) Approved at City Council which included a portion of Gale Ranch Phase 2 (north of Bollinger Canyon) and all of Windemere Phase 1
11/19/02	Windemere Phase 2 Approved at County Planning Commission
9/25/02	Windemere Annexation Agreement Approved at Council
10/16/01	Affordable Housing Program Amended - Staff Report to Contra Costa County Board of Supervisors
7/13/01	Annexation #3 (LAFC 01-20) Completed which included the southern portion of Gale Ranch Phase 1 and the Golf Course
1/12/00	Annexation #2 (LAFC 99-35) Completed; which included the remainder of neighborhoods in the northern portion of Gale Ranch Phase 1
10/15/98	Annexation #1 (LAFC 98-33) Completed; which included 3 neighborhoods in the northern portion of Gale Ranch Phase 1

8/10/98	Services Funding Agreement Between City of San Ramon & Shapell Approved
7/25/98	First 61 homes in Dougherty Valley go on sale.
7/15/98	Gale Ranch Annexation Agreement Approved at Council
3/9/98	Services Funding Agreement Between City of San Ramon & Windemere Approved
03/98	Citizens for Balanced Growth files suit challenging Zone 7's ability to serve water to the Dougherty Valley claiming provision in the Zone 7 District Act prohibits water sale outside Alameda County. This action was taken despite several legal opinions that state the Zone 7 District Act allows for sale of water outside the Zone 7 Boundaries.
03/98	DSRSD approves an "Area wide Facility Agreement" for water services to Dougherty Valley. Among other things agreement spells out some \$18,000,000.00 of immediate cash funding obligations of Windemere and Shapell.
1/8/98	Memorandum of Understanding Executed: Contra Costa County, City of San Ramon, Shapell Industries, Inc. and Windemere Ranch Partners
01/98	Zone 7 certifies Final SEIR and Zone 7 Board President executes the five agreements covered by the SEIR. The agreements address the obligations of all parties involved in the transfer and the use of State Water Project water in Dougherty Valley.
11/97	Gale Ranch annexed into City of San Ramon West Branch Geologic Abatement District.
10/97	Windemere issues \$12.88 million in Assessment District Bonds to be used for Windemere's portion of the water entitlement and water storage costs.
10/97	Memorandum of Understanding between County, City of San Ramon, and Dougherty Valley Developers regarding implementation procedures for DV developments. Reviewed and recommended by DVOOC.
09/97	Zone 7 & circulates Draft SEIR - "Transfer of Water Entitlements for use in Dougherty Valley".
09/97	Alameda County Zone 7 releases Supplemental EIR covering the purchase and transfer of 7,000 acre feet of State Water Project water entitlement to Zone 7 and the purchase of 43,000 acre feet of Semi tropic water storage for potable water service to the Dougherty Valley.
7/20/97	Master Property Tax Transfer Agreement Approved by City of San Ramon
05/97	Contra Costa County Board of Supervisors amends Master Tax Exchange Agreement designating DSRSD as the recipient of that portion of the advalorem property tax that would normally go to the property water provider.
04/97	Contra Costa County LAFCO approves annexation of Windemere to DSRSD and Central San for water and sewer service and amends the service boundary of DSRSD and Central San to include the balance of the Gale Ranch.
04/97	DSRSD approves design contract to design 12,000 l.f. water pipe, pump station, and water tank(s) to serve Dougherty Valley.
03/96-04/96	County Service Area M-29 formed to provide services to Dougherty Valley, approved by LAFCO 03/96 and BOS in 04/96. Approvals include full PPS (Plan for Providing Services) approved by LAFCO and BOS.
12/96	Windemere Phase 1 and Gale Ranch Phase 2 approved.

11/19/96	Dougherty Valley Specific Plan Approved; Contra Costa County Board of Supervisors approves revised Dougherty Valley Specific Plan, General Plan Amendment, designating DSRSD as the preferred water purveyor to the Dougherty Valley.
11/05/96	Contra Costa County Planning Commission approves revised Specific Plan, General Plan Amendment, and Subsequent EIR. All Documents designate DSRSD as the preferred water provider and Central Contra Costa Sanitary District as the preferred sanitary sewer service provider.
09/96	Land Owners formally request Contra Costa County LAFCO to annex property to DSRSD for Portable and Reclaimed Water Service and to Central Contra Costa Sanitary District for Sanitary Sewer Service.
09/96	Contra Costa County publishes subsequent EIR for a General Plan Amendment and Specific Plan Amendment for the Dougherty Valley in which DSRSD is designated the Preferred Water Provider for all areas of the Dougherty Valley, except for the 1,216 units in Gale I area.
08/96	Contra Costa County publishes Revised Plan of service for Dougherty Valley designating DSRSD as the Preferred Potable Water Provider for all of Dougherty Valley, except the 1,216 units in Gale I area of the project.
10/95	DSRSD completes Windemere Plan of Services for the provision of potable water and reclaimed water to the Windemere portion of Dougherty Valley.
8/6/96	Joint Exercise of Powers Agreement: Contra Costa County, City of San Ramon, Town of Danville (SCC JEPA)
08/95	Grading permit for Gale I issued. Mass grading begins. All jurisdictional approvals in place (County, DFG, ACOE, RWQCB, etc.)
05/95	DWR concludes that Dougherty Valley is within the "Place of Use" area for State Water Project water and therefore, there is no additional approvals needed from the State for the use of BMWD water in Dougherty Valley.
04/95	At the request of the California Department of Water Resources (DWR) DSRSD offers to assign the BMWD water to Zone 7. Zone 7 is an existing State water contractor and holds other State Water Project Entitlements.
04/95	Kern County Water Agency (KCWA) agrees to allow transfer of BMWD and agrees to implement Monterey Principles, calling for the ultimate transfer of 133,000 acre feet of State Water Project Entitlements from KCWA member agencies.
01/95	DSRSD completes "Impact of Additional Water" study. Study includes assessment for facilities for water service to Dougherty Valley.
Summer 94-08/95	Settlements of remaining law suites with all parties; EBMUD is the last litigant to settle in August 1995
12/94	Gale Ranch Phase I (The Bridges) approved
09/94	DSRSD and Windemere Ranch Partners (WRP) enter into a Reimbursement Agreement in which WRP agrees to pay for all costs associated with purchase and transfer of the BMWD water entitlement.
09/94	DSRSD enters into agreement with BMWD to purchase between 2,500 to 3,500 of BMWD's State Water Project water entitlement. Agreement fixes price at \$1,000 per acre foot and spells out "tasks", those actions necessary to complete sale and transfer of water entitlement.
08/94	DSRSD/Zone 7 completes 30 year Water Supply Agreement. Agreement is an extension of the existing water supply agreement for the whole sale supply of potable from Zone 7 to DSRSD. Agreement contemplates potential service to Dougherty Valley.

06/94	Shapell submits revised application for the first phase of Gale Ranch to include ± 618 acres already within EBMUD service boundary. County Club at Gale Ranch Tentative Map application includes GPA, Rezoning and DA. Full (Second) EIR started with application.
05/94	Court rules in favor of County except regarding water, sewer, and tree analysis
04/94	San Ramon, Danville, County, and Developers settle litigation: Settlement Agreement defines obligations and responsibilities of implementation of DV Specific Plan. Dougherty Valley Oversight Committee (DVOC) formed as cooperative monitoring body to verify settlement compliance.
3/22/94	Dougherty Valley Affordable Housing Program approved by Board of Supervisors; 25% of 11,000 du plan to be affordable.
11/93	DSRDS concludes "Analysis of State Water Contractors". Analysis of State Water Contractor entitlements concludes that transfer from a Kern County Water District, Berrenda Mesa Water District (BMUD), is the best opportunity for a transfer compatible with local entitlements.
10/93	Dublin San Ramon Services District (DSRSD) completes 14 month "Water Resources Acquisition Study". Study concludes that a south of the Delta Water Entitlement of State Water Project water is the best supply option for the water services by DSRSD to Dougherty Valley.
01/93	Litigation filed by EBMUD separately and 10 others collectively (San Ramon, Danville, Pleasanton, Walnut Creek, Save our Hills, Preserve Area Ridgeland Committee, Sierra Club, Alamo Improvement Association, Mt. Diablo Audobon, Greenbelt Alliance)
12/92	GPA and Specific Plan adopted by the by Board of Supervisors on 4-0 vote (Fahden Absent); Rezoning and Development agreements not approved until December 1995
7/92 – 4/94	Roundtable discussions held by the County, San Ramon, Danville and Development representatives to work through variety of issues, levels of service, mitigations, exactions
1992	11,000 unit plan reviewed and EIR produced by County
09/91	Shapell and Windemere give notice of intent to seek entitlements from County
06/91	9,000 unit plan adopted by San Ramon Planning Commission
11/90	Contra Costa voters adopt Measure C establishing Urban Limit Line which includes Dougherty Valley and defeat environmentalists-sponsored Measure F
07/90	"Save our Hills Initiative" adopted by San Ramon City Council on a 4-1 vote
04/90 - 06/91	Citizens Advisory Committee, led by the City of San Ramon, developed general site plan for project. 11,000 du plan developed; 9,000 units ultimately recommended by CAC
02/89 - 03/90	Dougherty Valley Opportunities Analysis Committee, led by the City of San Ramon
11/81	Gave notice of intention to cancel Williamson Contract

1977	Shapell purchased the land from Judge William Gale
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