

4. LAND USE AND URBAN DESIGN

The Land Use Map

The Land Use and Urban Design element of the Crow Canyon Specific Plan establishes the distribution, location and extent of land uses within the planning area, and provides development standards and design guidelines that will regulate the form, scale and character of future development. The Land Use Map shown in Figure 4-1 reflects the overall vision of Crow Canyon as a mixed-use pedestrian-oriented district with a range of commercial, service-commercial, and residential uses. To implement the vision, and to achieve the fundamental goals and objectives of the Plan, four land use designations and two “overlay” designations have been formulated for the planning area. While these designations reflect the desire for a mixed-use environment, rather than homogeneous zones with singular uses, they also recognize that certain portions of the planning area offer more suitable opportunities for particular land uses to predominate. Table 4-1 lists the acreage of land in each district, overlay or right-of-way. Table 4-2 provides a summary of the range and intensity of land uses within each of the land use designations. (See Tables 9-1 and 9-2 for detailed land use table and development standards.) More specifically, the land use designations include:

Village Commercial Mixed-Use (VCMU): This land use designation applies to properties generally fronting Old Crow Canyon and Omega Roads between San Ramon Creek and Purdue Road and on a portion of San Ramon Valley Boulevard north of the Sierra Suites Hotel. Its intent is to promote the creation of a mixed-use and pedes-

trian-scaled activity center at the heart of the Crow Canyon district. Buildings are required to orient to, and be built to the property line of Old Crow Canyon and Omega Roads to create an intimately scaled pedestrian street. The ground level of buildings along this street will be lined with public-oriented uses like shops and restaurants that will help to reinforce the pedestrian nature of the street. Small-scale commercial uses such as workshops and offices are also permitted, provided that the space is designed in a manner that would allow for future conversion to retail use. Off-street parking is concentrated within and behind the buildings. Residential and/or office uses will occupy the upper floors to promote a mixed-use environment and to provide a “critical mass” of residents and employees within the district. To promote this critical mass, this land use designation imposes a minimum density of 22 dwelling units per acre or 0.40 floor-area ratio (FAR), and a maximum density of 50 dwelling units per acre or a 1.25 FAR. On San Ramon Valley Boulevard, buildings are required to orient to the street with no more than 50 percent of the frontage devoted to surface parking.



Mixed-use with ground floor retail and housing above.

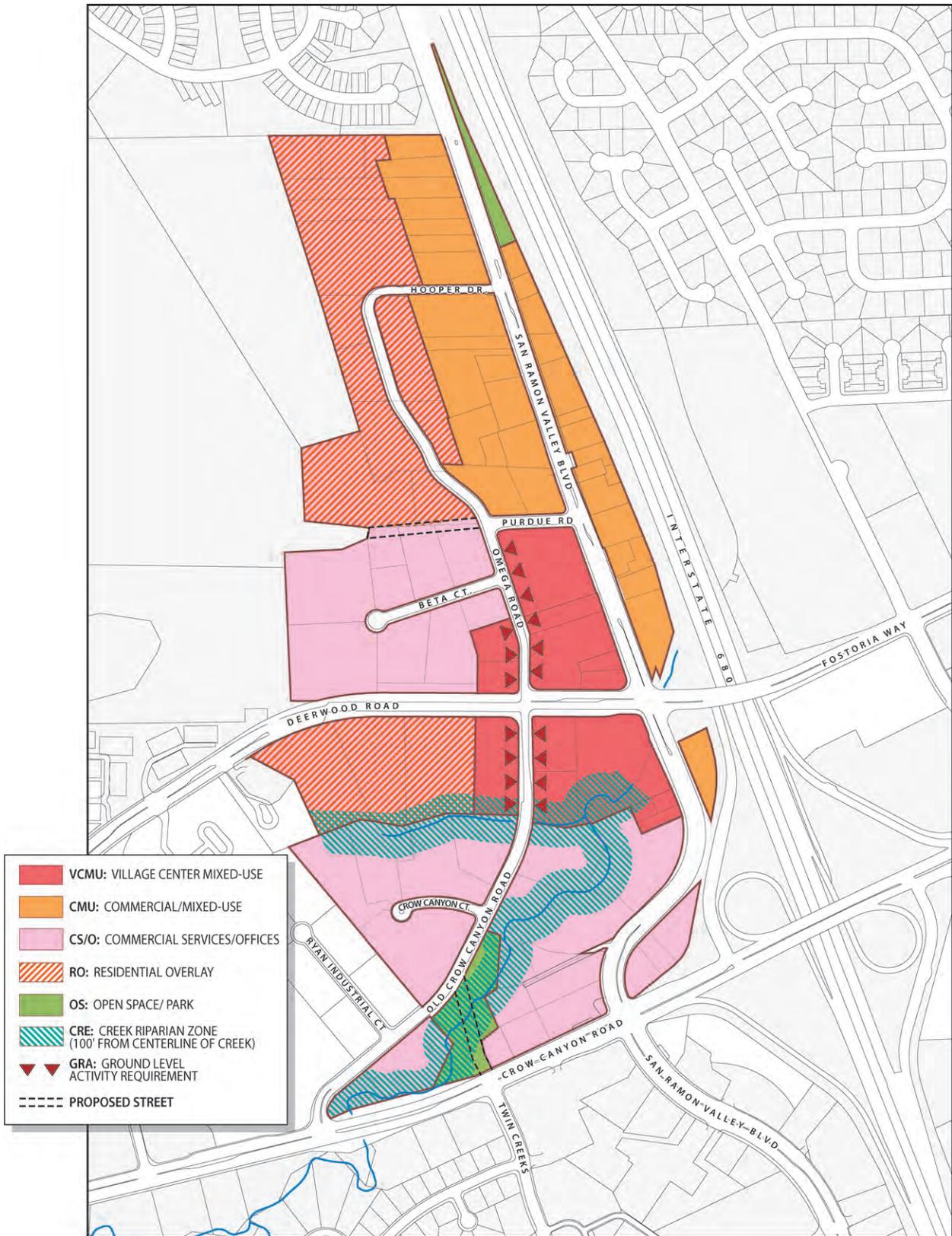


FIGURE 4-1
LAND USE PLAN



Mixed-use with ground floor retail and offices above.

Commercial Mixed-Use (CMU): This land use designation is applied to properties on both sides of San Ramon Valley Boulevard between the city limits on the north and Purdue Road on the south and extending on the east side of the Boulevard down to the Sierra Suites Hotel. The intent of this designation is to encourage redevelopment, intensification and beautification of properties along the boulevard. Emphasis is given to commercial development including retail and office uses. Buildings are required to orient to the boulevard with no more than 50 percent of the frontage devoted to surface parking. The maximum density of development within this area is 0.40 FAR, except on assembled sites greater than 1.5 acres, where a 1.00 FAR will be permitted.

Commercial Services/Office (CS/O): This land use designation applies to all other privately-owned land outside of the Commercial Mixed-Use (CMU) and Village Commercial Mixed-Use (VCMU) designated areas described above. A variety of commercial and service-commercial uses is permitted within the area, in recognition of the pattern of existing businesses, including automobile sales and services, building materials, contractors' yards, hotel and office uses. Storage and warehousing facilities are not permitted within



Residential with pedestrian-friendly stoops.

the district, because of the growing dominance of these businesses in the area and their incompatibility with the Plan's goals for creating a mixed-use district. Development within this land use designation is permitted to a maximum density of 0.40 FAR. Buildings are required to orient to public streets within this area to promote a positive pedestrian environment.

Residential Overlay (RO): This land use overlay is applied to properties designated as Commercial Service/Office (CS/O) north of Purdue Road and between Deerwood Road and the San Ramon Creek. It is intended to allow for future infill and intensification of underutilized properties in a way that minimizes impacts on existing businesses and that can lead to the creation of a cohesive mixed-use district. Within this area, residential development is allowed on assembled sites greater than 1.5 acres, subject to livability conditions intended to mitigate potential conflicts between the new residential development and existing non-residential uses. Residential development within this designation is limited to a minimum density of 22 dwelling units per acre and a maximum density of 50 dwelling units per acre. Additional ancillary commercial uses are also allowed on the ground floor up to a maximum 0.40 FAR. Build-

Table 4-1: Acreage by Land Use District

	Total Acres	Portion in Creek Riparian Zone (CRE)	Net Acres
Village Center Mixed-Use (VCMU)	15.6	2.1	13.5
Commercial/Mixed-Use (CMU)	21.1	0	21.1
Commercial Services/Offices (CS/O) (Portion in Residential Overlay - RO)	66.6 (25.6)	10.5 (1.1)	56.1 (24.5)
Open Space/ Park (OS)	2.9	1.7	1.2
Street Rights-of-Way	21.9	0.7	21.2
Total	128.1	15.0	113.1

ings are required to be oriented to public or publicly accessible streets, and to San Ramon Creek to promote a pedestrian-friendly environment.

Open Space/Park (OS): This land use designation is applied to Redevelopment Agency-owned land adjacent to San Ramon Creek and along San Ramon Valley Boulevard. It is intended to provide visual and recreational open space for the enjoyment of residents and visitors, and to reinforce the City’s policies related to the preservation and enhancement of existing riparian corridors. Because of its location and configuration, the San Ramon Valley Boulevard site will be landscaped and maintained as a visual amenity at the City’s northern gateway and as a buffer to the I-680 freeway. The Old Crow Canyon Road site consolidates existing Redevelopment Agency property with future property that will be acquired to construct the Twin Creeks Drive extension, to create a 1.7-acre creekside park, that will also serve as a “trailhead” for future pedestrian and bicycle paths along San Ramon Creek.



Potential treatment of San Ramon Creek Park.

Creek Riparian Zone (CRE): This overlay district is located within 100 feet of the centerline of San Ramon Creek and its tributaries, and is intended to implement the goal of Ordinance No. 197, which does not apply to the Plan area, and to protect and enhance the riparian corridor of San Ramon Creek as both an environmental and recreational resource within the community. The Creek Riparian Zone prohibits structures within the 100-foot setback zone and within the 100-year flood plain, and improvements are limited to open space and recreational amenities and access

Table 4-2: Land Use Matrix

<i>Land Use Designation</i>	<i>Principal Allowable Uses</i>	<i>Intensity</i>
Village Center Mixed-Use (VCMU)	<ul style="list-style-type: none"> • Multi-family Residential* • Single-family Residential (attached only)* • Day Care • Park and Recreation Facilities • Eating & Drinking Establishments • Food and Beverage Sales • Offices • Retail • Support Retail Ground-Level Use • Visitor Accommodations (Hotels & Motels) 	Minimum: 22 units per acre or 0.40 FAR (whichever is greater). Maximum: 50 units per acre or 1.25 FAR (whichever is less).
Commercial/Mixed-Use (CMU)	<ul style="list-style-type: none"> • Day Care • Building Materials and Services (limited) • Eating & Drinking Establishments (limited) • Food and Beverage Sales (limited) • Laboratories • Offices • Retail • Research and Development Services • Vehicle Sales and Services • Industry, Limited Small-Scale 	Maximum (less than 1.5 acres): 0.40 FAR Maximum (1.5 acres or larger): 1.00 FAR
Commercial Services/Offices (CS/O)	<ul style="list-style-type: none"> • Day Care • Building Materials and Services (limited) • Eating & Drinking Establishments (limited) • Laboratories • Offices • Research and Development Services • Retail • Vehicle Sales and Services • Industry, Limited Small-Scale 	Maximum: 0.40 FAR.
Residential Overlay (RO)	<ul style="list-style-type: none"> • Multi-family Residential (min. 1.5-acre lot) • Single-family Residential (attached only) 	Requires minimum site of 1.5 acre. Min.: 22 units per acre. Max.: 50 units per acre.
Open Space/Park (OS)	<ul style="list-style-type: none"> • Park and Recreation Facilities • Eating & Drinking Establishments (limited) • Horticulture (limited) 	Per use permit

Note: See Table 9-1 for detailed land use regulations.

** Not permitted on ground floor.*

*** Southwest of San Ramon Valley Boulevard and Purdue Road only.*



Proposed creekside trail.

roads incidental to achieving effective circulation. In addition to these provisions, the CRE overlay requires new development within the district to construct and maintain a publicly accessible pathway for pedestrians and bicyclists that can become part of a larger pathway system within the district and in so doing, enhance the amenity value of the district, provide residents and visitors with needed open space, and promote bicycling and walking as a viable alternative to the automobile.

Development Maximum

There shall be no more than 735 housing units constructed in the Plan area from adoption of the Specific Plan. The 735-unit maximum shall include any density bonus units.

Trip Budget

Notwithstanding the provisions of the Specific Plan with respect to permitted land uses and development intensities, new or expanded development in the Crow Canyon Specific Plan area is limited by the amount of traffic it generates. This ceiling on traffic generation, denoted as a “trip budget,” is established to ensure that traffic impacts do not exceed the level adopted in the City’s General Plan. In 2001, the San Ramon General Plan 2020 estimated the development potential of the Crow Canyon Specific Plan area, evaluated the associated traffic impacts, and developed measures to mitigate the impacts in the General Plan EIR. The adopted mitigation measures are directly linked to the traffic generation of the area’s development potential. Development exceeding the traffic levels evaluated in the General Plan EIR could potentially cause greater traffic impacts and negate the adopted mitigation measures. Therefore, development in the Crow Canyon Specific Plan area cannot collectively exceed the established trip budget without a General Plan amendment and re-evaluation of mitigation measures. Development consistent with the Crow Canyon Specific Plan, or the broader classifications in the General Plan, can be allowed as long as its cumulative traffic generation remains under the trip budget. Each development proposal within the Crow Canyon Specific Plan area is subject to a project-level environmental analysis which, at a minimum, estimates the proposal’s peak hour traffic generation and the cumulative traffic generation of all development in the Specific Plan area since adoption of the General Plan.

Based on trip generation rates (Institute of Transportation Engineers, 7th edition) consistent with those used to estimate traffic in the Crow Canyon

Specific Plan, the trip budget for the Crow Canyon Specific Plan area is shown in the table to the right. (See Table 9-3 for detailed trip generation calculations.)

The City shall maintain a table, beginning with the 2001 base year, of the total allowable trips, approved projects, their generated trips and the balance remaining. Each new project shall be analyzed using the trip generation rates in the Crow Canyon Specific Plan EIR. Once the trip budget is exhausted, the traffic impacts of any future development project proposed within the Crow Canyon Specific Plan Area must be evaluated as part of the CEQA review for the project.

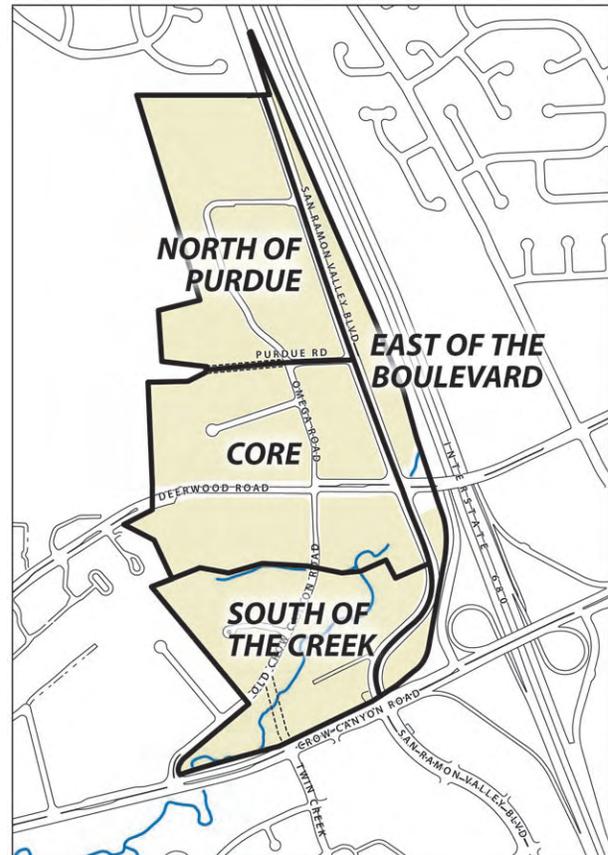
Illustrative Plan and Development Program

The illustrative plan (Figure 4-3) indicates how the Crow Canyon Specific Plan area could potentially build out in conformance with the overall planning principles and within the land use regulations, development standards and design guidelines of the Plan. It is important to emphasize that the illustrative plan indicates only one potential development outcome, and the actual build-out could vary from this initial projection. As envisioned, the build-out of the Crow Canyon Specific Plan area could result in up to 735 new residential units and 357,000 square feet of new or redeveloped commercial space. The illustrative plan assumes that 903,000 square feet of existing commercial space will remain in place. The illustrative development program (Table 4-4) indicates the potential distribution and density of land uses throughout the planning area. For this purpose, four sub-areas are identified including the area: north of Purdue Road, east of San Ramon Valley Boulevard, south of San Ramon Creek, and the Core along Old Crow Canyon Road (Figure 4-2).

Table 4-3: Trip Budget for Crow Canyon Specific Plan Area (1)

<u>Daily</u>	<u>AM Peak Hour</u>	<u>PM Peak Hour</u>
13,929	1,777	1,563

(1) Source: San Ramon General Plan 2020 EIR (prepared in 2001).



**FIGURE 4-2
DEVELOPMENT PROGRAM SUBAREAS**

Table 4-4: Development Program

SUB-AREAS	EXISTING FLOOR AREA		DISPLACED		REPLACEMENT		NET CHANGE		TOTAL		
	Commercial (gsf)	Commercial (gsf)	Commercial (gsf)	Commercial (gsf)	Residential (units)	Commercial (gsf)	Residential (units)	Commercial (gsf)	Residential (units)	Commercial (gsf)	Hotel (rooms)
North of Purdue	422,000	142,000	155	223,000	155	81,000	155	503,000	155	503,000	0
East of the Boulevard	89,000	19,000	0	39,000	0	20,000	0	109,000	0	109,000	0
South of the Creek	278,000 & 142 Hotel Rms	10,000	0	8,000	0	(2,000)	0	276,000	0	276,000	142
The Core	526,000	241,000	580	87,000	580	(154,000)	580	372,000	580	372,000	0
Total	1,316,000 & 142 Hotel Rms	413,000	735	357,000	735	(56,000)	735	1,260,000	735	1,260,000	142

Note: Numbers may not total due to rounding.

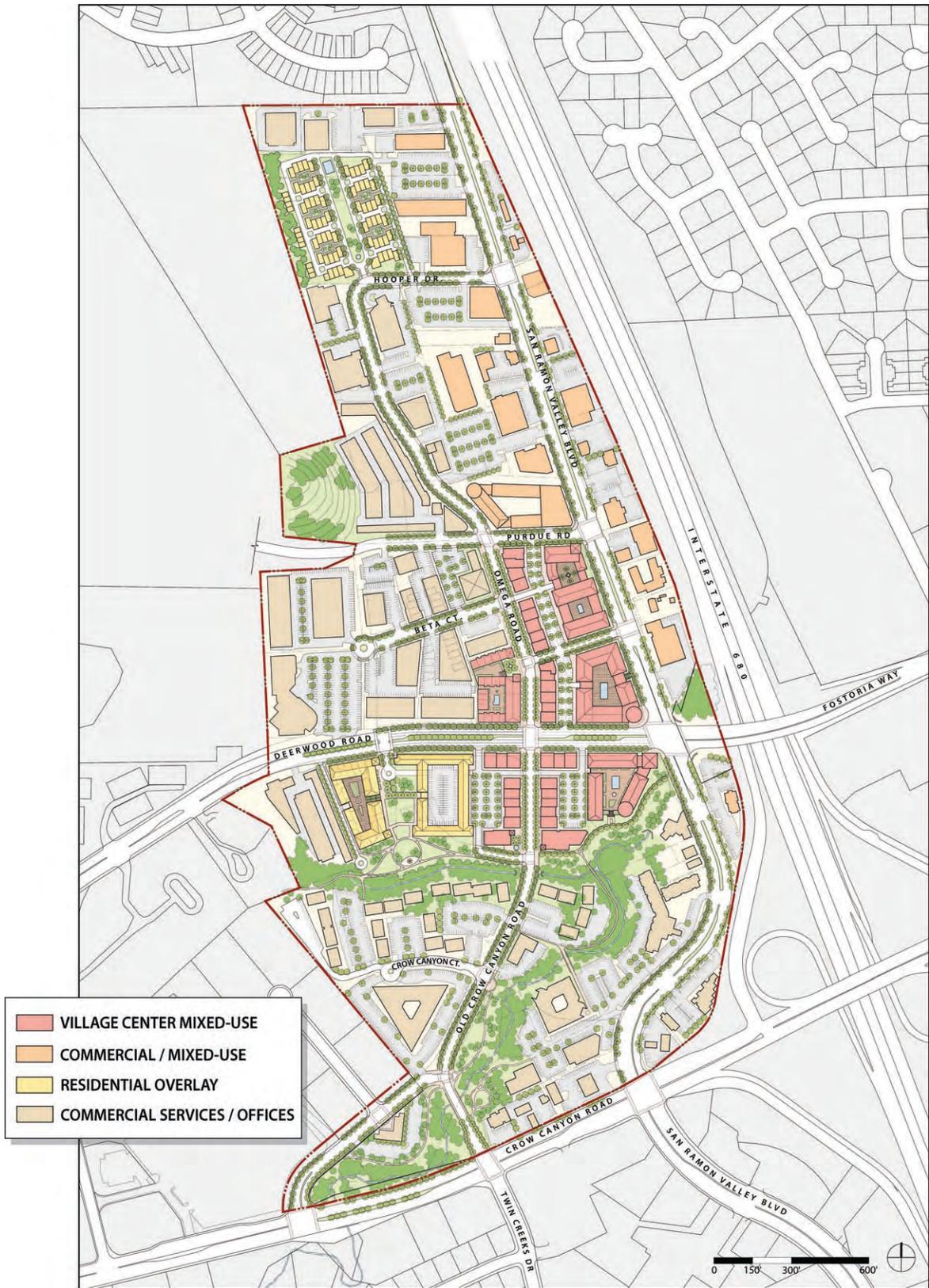


FIGURE 4-3
ILLUSTRATIVE PLAN

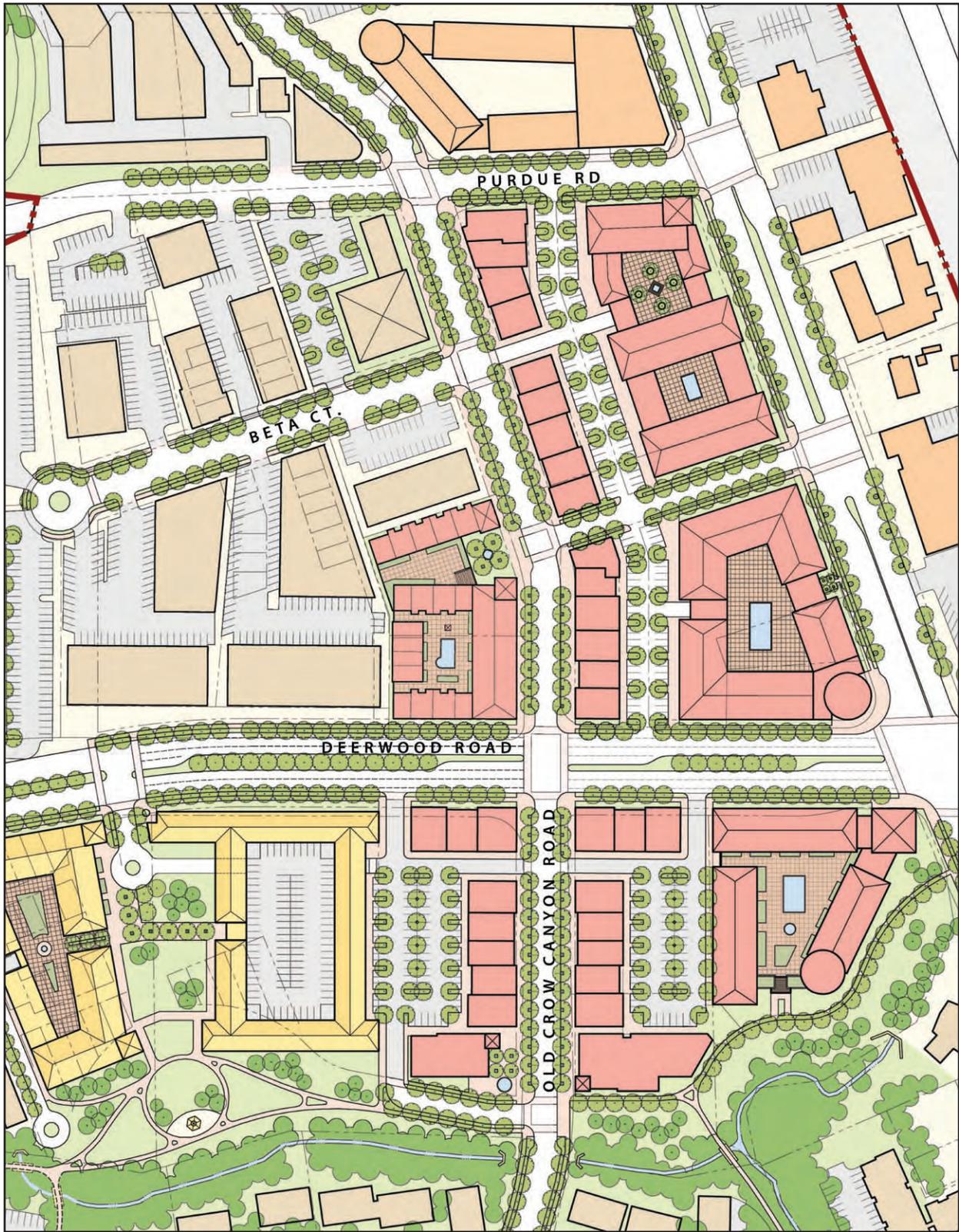


FIGURE 4-4
VILLAGE CENTER ILLUSTRATIVE PLAN

Objectives, Policies, Allowed Uses, Development Standards and Design Guidelines

The remainder of this element focuses on specific objectives, policies, development standards and design guidelines for each of the land use designations. Table 4-2 provides a summary of density, height, setback, and ground level use requirements for each of the land use designations.

Village Center Mixed Use (VCMU)

OBJECTIVE 1: Promote the creation of a mixed-use and pedestrian-oriented village center at the heart of the Crow Canyon district.

The Village Center along Old Crow Canyon and Omega Roads will become the core and “main street” of an active mixed-use district that wraps around Purdue and Deerwood Roads to San Ramon Valley Boulevard with a complement of retail and service uses that can serve the day-to-day needs of future Crow Canyon residents. The Village Center will also serve existing residents in the nearby Promontory View, Deerwood Highlands, Cambrio, and Bollinger Crest neighborhoods, which include more than 950 units of housing, as well as future residents in the adjacent Northwest Specific Plan area, where up to 830 new residential units are planned. Old Crow Canyon and Omega Roads will be transformed into a unique street that will include a range of sidewalk-oriented shops, workshop space, cafes and restaurants. Local home-grown businesses that build on existing area businesses (e.g., home and garden improvements) are particularly encouraged to create a unique personality and broader citywide and regional destination appeal for the area. Upper-level residential, live-work lofts, and office and commercial space are particu-

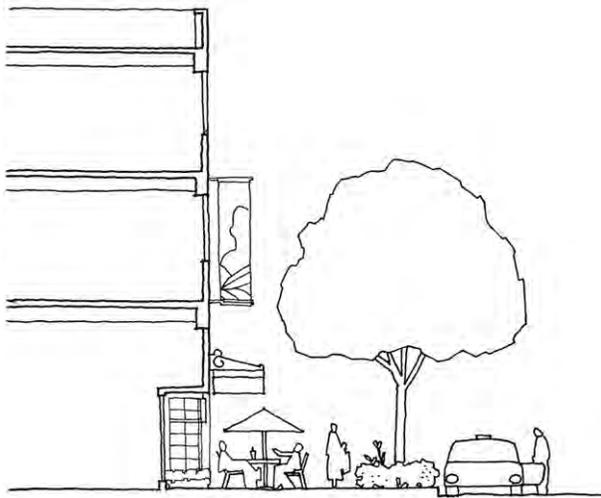
larly important to enliven the district as a day and nighttime destination, and to introduce a population of residents and employees that will further reinforce the viability of commercial uses.

Policy 1.1: Ground level uses that promote an active and public-oriented pedestrian friendly environment should be encouraged along Old Crow Canyon and Omega Roads.

With their narrow right-of-way and relatively light traffic flows, Old Crow Canyon and Omega Roads offer the greatest potential for the creation of an intimately-scaled village street of shops, restaurants, and workshops. New development should be required to reinforce planned public



Mixed-use with active, pedestrian-friendly ground-floor uses.

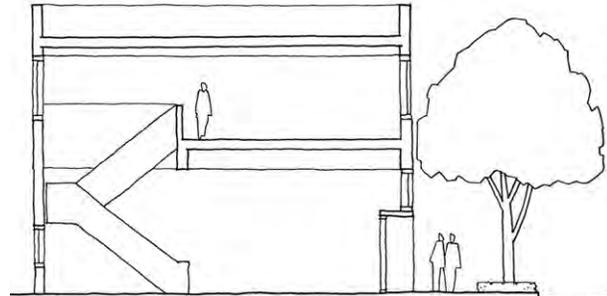


Shops, restaurants and workshops on Old Crow Canyon and Omega Roads.

investment in the improvement of the street as a pedestrian-oriented corridor, by providing active commercial uses along the frontage, by orienting these uses to the sidewalk, and by designing the storefront to promote pedestrian interest and activity. Except for lobbies and services, residential uses are not permitted on the ground level. It is envisioned that ground level uses along the street will evolve over time, as more residents and employees are added to the area, and as the market for retail and restaurant uses develops. In the early years of redevelopment, office, workshop and studio space may be more viable than retail shops and restaurants. However, it is important that all space is configured and designed in a manner to achieve the ultimate vision of an active pedestrian-scaled village street.

Policy 1.2: Residential, live-work or commercial uses should be established on the upper floors of new development.

As the area evolves from a service-commercial and warehousing district, it will be important that new development provide more intensive use of the land to establish a compact and pedestrian-inten-



Shophouse with second-story living space.

sive environment. As such, single-use or stand-alone buildings are discouraged within the VCMU in favor of mixed-use multi-story structures, up to four floors in height. Upper level office, live-work and residential space is required on at least one floor above the ground level. Commercial and live-work “shophouses” that establish a fine-grained increment of development and a village character along Old Crow Canyon and Omega Roads are particularly encouraged.

Policy 1.3: The San Ramon Redevelopment Agency-owned parcels on the west side of Omega Road should be redeveloped as a catalyst and demonstration project.

The San Ramon Redevelopment Agency owns approximately 1.3 acres of land on two contiguous parcels at the northwestern corner of Deerwood and Omega Roads in the heart of the Village Center Mixed-Use district. One of these parcels currently stands vacant, and the other is operating as a citywide Recycling Center. The City has identified these properties as suitable for redevelopment with affordable housing, and has initiated a relocation study for the Recycling Center. The

City should solicit non-profit developers to implement a mixed-use residential project that addresses the objectives of the Crow Canyon Specific Plan and the City's affordable housing needs, while meeting the development standards and design guidelines of the VCMU district. As such, this redevelopment should serve as both a demonstration project and as a catalyst for redevelopment of adjacent underutilized and vacant properties along Old Crow Canyon and Omega Roads. Approximately 55 units of workforce housing, with a range of unit sizes including ones suitable for families, could be provided on the 1.3 acre property. In addition, approximately 13,390 square feet of ground level commercial space could be developed along the Omega Road frontage, which could also be improved as an integral part of the catalyst project. (See Implementation element.)

Policy 1.4: The City should encourage property owners and potential investors who are interested in implementing the vision of the Specific Plan to assemble and redevelop underutilized properties within this area.

The City of San Ramon and its Redevelopment Agency should work with property owners and investors to facilitate the redevelopment of vacant

and underutilized sites within the Village Center Mixed-Use District. Where small parcels preclude efficient redevelopment, the Agency should encourage assembly and consolidation by facilitating discussions between owners and potential investors and by other incentives that are within its powers. The Redevelopment Agency may use its existing legal authority to enter into Owner Participation Agreements that contain financial incentives (e.g., funding off-site improvements, paying entitlement fees, etc.) that would make redevelopment of their properties more economically attractive to existing or prospective owners.

Policy 1.5: The City should work with owners and businesses that will remain within the area to enhance the appearance of the properties and to make modifications that will contribute to the creation of a vibrant mixed-use village center.

The Specific Plan recognizes that there are viable businesses within the VCMU district which may remain for the foreseeable future. The City should work with these property owners and businesses to improve the visual appearance of existing structures and to make them compatible with planned improvements along Old Crow Canyon and Omega Roads. In addition to code enforcement,



Retail scaled to pedestrians with residential uses on upper stories.



Vacant and underutilized sites offer development opportunities.



Harley-Davidson on San Ramon Valley Boulevard.



Morgan's Masonry on Omega Road.

such discussions could include the potential for façade upgrades, landscaping and screening. More specifically, the City should work with Morgan's Masonry, a longtime construction and material supply business within the area, to identify ways in which truck traffic can be rerouted away from the Omega Road frontage, and ways in which the yard activities and noises can be screened from predominant view. Opportunities for screen walls as well as retail-oriented development along the Omega Road frontage of this key property should be explored with the property owner and business and implemented as part of the streetscape improvement program.

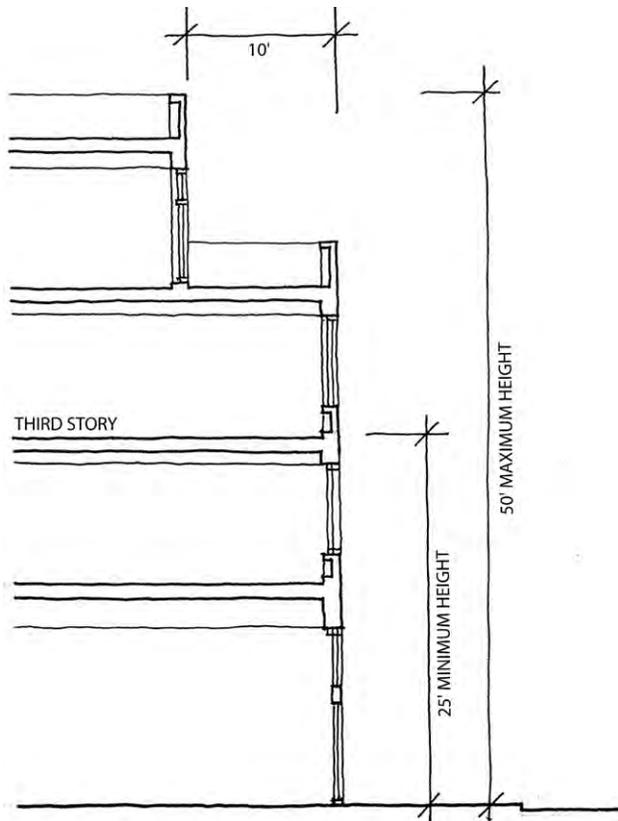
Policy 1.6: The following development standards and design guidelines are intended to promote an intimately-scaled and pedestrian-friendly village center:

Height and Massing: The maximum height of buildings within the Village Center Mixed-Use District shall be four stories or 50 feet. Portions of buildings above the third floor or 40 feet shall be stepped back by 10 feet to reduce the perceived height of the structure, and to promote a village scale. The minimum height of all structures within this area is two stories or 25 feet, to promote a more intensive mixed-use environment, and to reinforce the spatial definition of Old Crow Canyon and Omega Roads as a cohesive village street.



Ground-level public-oriented uses.

Ground Level Uses: Public-oriented uses that promote sidewalk activity and interest are required on fronting ground level space adjacent to Old Crow Canyon and Omega Roads. Such uses include retail shops, personal and financial services, restaurants, and cafes, workshop space (e.g., artisan studios and galleries), offices, civic and community facilities, and other uses deemed by the Planning Director to be public-oriented. Off-street parking lots and structures shall neither



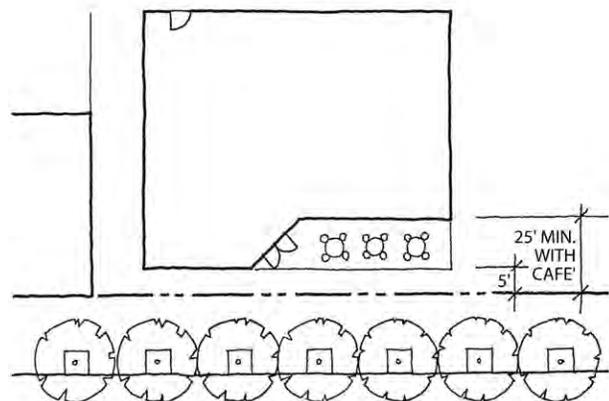
10-foot setback above third story or 40 feet.

abut nor be visible from the Old Crow Canyon and Omega Road frontages.

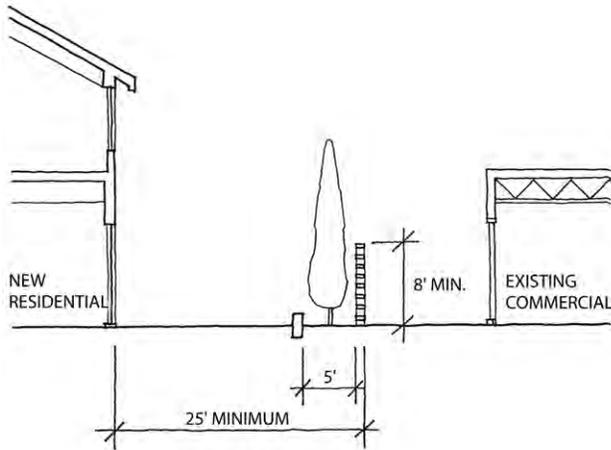
Building Setbacks: To promote the spatial definition of the street and to create an active, pedestrian-oriented district, all buildings shall be built parallel to, and within five feet of the right-of-way lines of Old Crow Canyon and Omega Roads. Site Obstructions at Intersections (Zoning Ordinance Section D4-142) shall not apply in the Village Center Mixed-Use District (VCMU). Additional setbacks up to 25 feet will be permitted for outdoor cafes and seating areas that have a direct relationship to the street. Along all other public streets including San Ramon Valley Boulevard, Deerwood, Beta Court, and Purdue Road, buildings shall be set back at least 10 feet but no more than 25 feet from the street to create a more generous sidewalk area as well as opportunities for

front yard landscaping as appropriate. There shall be no minimum interior side yard or rear yard setback requirements, except that new residential shall be set back at least 25 feet from interior and rear property lines abutting existing commercial and service-commercial uses. Along interior property lines between residential and existing commercial and service-commercial uses, there shall be a minimum eight-foot-high masonry or concrete wall and an irrigated planting strip that is at least five feet wide and heavily planted with tall hedges and/or columnar trees to form an opaque screen. Parking structures or decks up to 20 feet in height, and encapsulated within a mixed-use building, may be constructed within five feet of a rear or interior side property line that is adjacent to an existing commercial or service-commercial use.

Ground Level Treatment: All ground level uses shall have their primary entrances oriented to Old Crow Canyon and Omega Roads, and entrances should be spaced no more than 50 feet apart. The interior finished floor shall be generally flush with the sidewalk so that no stairs or ramps are required. The floor-to-floor dimension of ground level space shall be no less than 15 feet. The ground level should achieve maximum



Buildings built parallel to and within 5 feet of r.o.w. lines of Old Crow Canyon and Omega Roads.



Interior and rear setbacks where new residential abuts existing commercial.

transparency, avoiding areas of blank walls. Clear, untinted glass should be used to allow for maximum visual interaction between exterior public areas and the activities within. The use of awnings is encouraged to provide shelter and shade along storefronts. Ground-floor commercial spaces should be designed as an integral part of the mixed-use building, but should also be articulated as distinct parts of those building façades, with materials and treatments that offer visual interest to the pedestrian. Materials along storefronts should be carefully selected to be of a high quality and appropriate to the pedestrian realm. The use of materials such as stone, tile, masonry and terracotta, which are pleasant to the touch and offer color and variation, is encouraged.



Transparent ground-level uses.

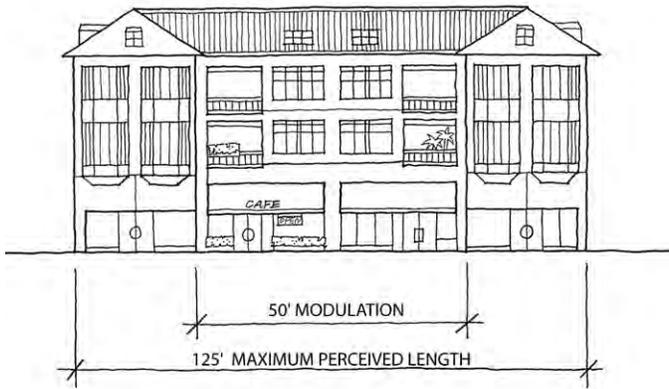
Architectural Treatment and Building Materials:

The architectural treatment of buildings within the Village Center should be high quality, with a high degree of variation and articulation to create a fine-grained and intimately scaled neighborhood. More specifically:

- **Articulation of Building Plane and Silhouette:** Mixed-use/residential buildings should avoid the appearance of monolithic projects. Individual units and/or clusters of units should be clearly expressed through overall massing and roof treatment, as well as changes in building plane, colors and/or materials. The use of sloping roofs, dormers, gables, balconies, bay windows, chimneys, etc., is encouraged to achieve this variety and articulation.
- **Frequent Changes in Façade Treatment:** In order to create a lively street frontage, residential buildings should have a maximum perceived length of 125 feet to discourage long and monotonous façades. The façades should be further modulated at intervals of approximately 50 feet and, whenever possible, should be broken down into smaller discrete elements. Devices such as floor level variation, fenestration changes, and the introduction of architectural elements (belt courses, moldings, cornices, pediments, etc.) are strongly encouraged.



Ground level treatment.



Architectural treatment and building materials.

- ARTICULATED ROOF
- FENESTRATION CHANGES
- RECESSED WINDOWS
- HIGH-QUALITY MATERIALS

- **High Quality Window Treatments:** Fenestration of all mixed-use residential buildings should employ a “punctured wall” treatment, with high quality window casings that are recessed from the building face to provide shade and detail.
- **Articulated Roof Treatment:** Roofs should be treated as a distinct architectural element of the building façade. Pitched and gabled roofs, and projections such as cornices and brackets are recommended to create a distinctive building silhouette. Mechanical equipment should be concealed from view through roof design that is architecturally integrated with the remainder of the building.
- **Freestanding Commercial Buildings:** The architectural treatment of freestanding commercial and retail buildings should be varied and articulated to create interest and diversity along public streets. The fenestration above the ground floor should be comprised of “punched” openings within a solid wall, and should be varied and recessed to offer shade and complexity to the building eleva-

tion. Parapets and roofs should be designed with decorative elements to provide for additional articulation and interest. All mechanical equipment should be screened from view and architecturally integrated within the roof treatment of the building.

- **Building Materials:** High quality clapboard wall treatments, precast concrete, brick and stucco are considered appropriate for mixed-use residential development; freestanding commercial buildings should employ high quality masonry, stucco or precast concrete. For all building types, high quality materials (e.g., stone, tile and terracotta) are encouraged as an accent for architectural features (e.g., moldings, cornices, chimneys, etc.) and to provide interest and detail within the view and touch of pedestrians.
- **Lighting:** New development shall include lighting designed and oriented to confine illumination to its specific site in order to minimize light spillage to adjacent commercial and residential uses, and public open space and recreational areas.

On-Site Open Space: Each residential unit within the VCMU district shall provide at least 50 square feet of private open space (25 square feet for a studio unit) in the form of a patio, terrace or balcony, sized so that no dimension within the space is less than five feet. Common open space may substitute for private open space.

Parking Access and Treatment: There shall be no off-street parking or loading access from Old Crow Canyon or Omega Roads, except on sites where no alternative access is possible. In these cases, driveways shall be no wider than 20 feet, and should be consolidated with other uses to the

maximum extent practicable. There shall be no open parking lots within the first 50 feet of property depth along Old Crow Canyon and Omega Roads. To create greenery and shade, open parking lots shall be provided with a minimum five-foot wide irrigated planting strip along their perimeter and at least one tree for every four parking spaces, distributed evenly around the perimeter and interior of the lot, and installed and irrigated in a minimum six-foot-square pit. Parking structures should be encapsulated and architecturally integrated within the overall design of the mixed-use building and concealed from view from the Old Crow Canyon and Omega Road frontages.

Loading and Service Areas: There shall be no on-site loading or service areas facing Old Crow Canyon or Omega Roads. Loading docks and service areas shall be fully enclosed in buildings, but in all cases shall be fully screened from public streets.

Commercial/Mixed-Use (CMU)

OBJECTIVE 2: Reinforce the importance of San Ramon Valley Boulevard as one of the City's principal gateway arterials, and allow for the intensification of existing properties along the boulevard with commercial mixed-use development.

The Commercial/Mixed-Use (CMU) area is located on fronting properties along the east and west sides of San Ramon Valley Boulevard north of Purdue Road and only on the east side south of Purdue Road. The land use pattern along the Boulevard reveals the historic role of the street as the main highway through the Valley and the San Ramon community. Several older businesses along the Boulevard have become institutions within the community (e.g., the Brass Door, Frellen's Casual Furniture, etc.), contributing to

the destination appeal of the area, but much of the development is characteristic of commercial strips throughout the region. Highway-oriented commercial and service uses front onto the street, with large expanses of surface parking and with auto-scaled signage. Streetscape improvements and gateway markers at the northern edge of the city have helped to mitigate the visual effects of this development.

The Specific Plan calls for additional streetscape enhancement of San Ramon Boulevard and for the intensification and redevelopment of vacant or underutilized properties within the area. Commercial, retail, restaurant and office uses are permitted, but storage and warehousing uses that do not contribute to the destination and pedestrian appeal of the area are prohibited.

The design and orientation of new development along the Boulevard should establish a more positive relationship with the street. As development parcels intensify, new buildings should be located near the front of the lot and building entries should be oriented to the street to enhance its pedestrian role. Parking should be well-landscaped and to the maximum extent possible located at the rear of the parcel.



Good balance of auto-access and visibility with pedestrian orientation.

Policy 2.1: Encourage commercial intensification and redevelopment of underutilized and vacant properties along San Ramon Valley Boulevard.

With over 20,000 vehicles per day, the Boulevard is a natural location for regional and community-oriented commercial uses that can benefit from the high levels of visibility and access. As such, the Specific Plan provides for the replacement of low-intensity single-use buildings with more intensive commercial development, including retail and office uses. Density incentives are provided to encourage assembly of small parcels into consolidated sites that can support more productive use of this strategic property. To this end, the allowable density on sites less than 1.5 acres remains unchanged from the existing zoning at an FAR of 0.40. However assembled sites of 1.5 acres or more are permitted to an FAR of 1.00.

Policy 2.2: Provide a visual and acoustical buffer between San Ramon Valley Boulevard and the I-680 freeway.

All new development east of the boulevard and adjacent to the freeway shall be required to construct soundwalls according to Caltrans standards along the property line of the freeway to mitigate noise within the district and to provide a visual screen from the highway. As an alternative, the building itself can serve as the acoustical and visual buffer, if it provides a line of sight obstruction between the freeway and the Boulevard frontage, if it reduces sound levels along the Boulevard by at least five decibels (dBA Leq(h)), and if, in so doing, it meets all of the acoustical standards set forth in the City's noise ordinance and in the Building Code. Landscaping and trees should also be provided along the edge of the freeway to soften the effect of the soundwall or the building edge.

Policy 2.3: The following development standards and design guidelines are intended to promote intensification and enhancement of the Commercial Mixed Use district:

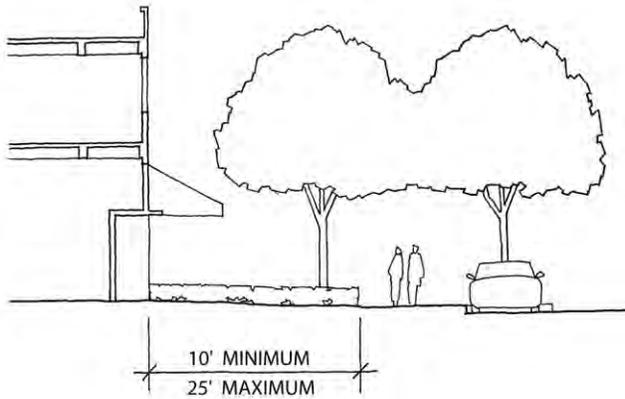
Height and Massing: The maximum height of buildings within the Commercial Mixed-Use District shall be three stories or 40 feet.

Ground Level Uses: Public-oriented uses that promote sidewalk activity and pedestrian interest are required on fronting ground level space adjacent to San Ramon Valley Boulevard. Such uses include: offices, retail establishments, showrooms, workshops, and other uses approved by the Director of Planning.

Building Setbacks: Buildings shall be generally oriented to the street, with a minimum setback of 10 feet and a maximum setback of 25 feet from the property line along the Boulevard. Minimum rear and sideyard setbacks of 10 feet are required.

Boulevard Frontage Landscaping: Front yard landscaping shall include trees planted between the planned boulevard street tree (see Circulation element), as well as groundcover and planting beds that in combination create a continuous frontage of green along the Boulevard.

Ground Level Treatment: Ground level uses facing the Boulevard shall have their primary entrances oriented to the street. The ground level should offer a high level of transparency, and avoid large expanses of blank walls. Clear, untinted glass should be used to promote visual interaction between exterior public areas and the activities within. Ground-floor commercial spaces should be designed as an integral part of the mixed-use building, but should also be articulated



Front yard setback and landscaping - San Ramon Valley Boulevard

as distinct parts of those building façades, with materials and treatments that offer visual interest to the pedestrian. Materials along storefronts should be carefully selected to be of a high quality and appropriate to the pedestrian realm. The use of materials such as stone, tile, masonry and terracotta, which are pleasant to the touch and offer color and variation, is encouraged.

Architectural Treatment and Building Materials: The architectural treatment of buildings within the Commercial/Mixed-Use district should be high quality, with a high degree of variation and articulation to create a fine-grained and intimately scaled neighborhood. More specifically:

- **Freestanding Commercial Buildings:** The architectural treatment of freestanding commercial and retail buildings should be varied and articulated to create interest and diversity along public streets. The fenestration above the ground floor should be comprised of “punched” openings within a solid wall, and should be varied and recessed to offer shade and complexity to the building elevation. Parapets and roofs should be designed

with decorative elements to provide for additional articulation and interest. All mechanical equipment should be screened from view and architecturally integrated within the roof treatment of the building.

- **Building Materials:** Freestanding commercial buildings should employ high quality masonry, stucco or precast concrete. High quality materials (e.g., stone, tile and terracotta) are encouraged as an accent for architectural features (e.g., moldings, cornices, chimneys, etc.) and to provide interest and detail within the view and touch of pedestrians.
- **Lighting:** New development shall include lighting designed and oriented to confine illumination to its specific site in order to minimize light spillage to adjacent commercial and residential uses, and public open space and recreational areas.

Parking Access and Treatment: No more than 50 percent of the frontage for the first 50 feet of depth of any parcel facing San Ramon Valley Boulevard shall contain parking, and no parking will be permitted within the front yard setback area. Driveways shall be no wider than 20 feet. To create greenery and shade, open parking lots shall be provided with a minimum five-foot wide irrigated planting strip along their perimeter and at least one tree for every four parking spaces, distributed evenly around the perimeter and interior of the lot, and installed and irrigated in minimum six-foot-square pits. Parking structures should be encapsulated and architecturally integrated within the overall design of the mixed-use building, and concealed from view from the San Ramon Valley Boulevard frontage.

Loading and Service Areas: There shall be no loading or service areas facing San Ramon Valley Boulevard. Whenever feasible, loading docks and service areas should be fully enclosed in buildings, but in all cases shall be fully screened from public streets.

Commercial-Services/Office (CS/O)

OBJECTIVE 3: Maintain the role of the Crow Canyon area as a location for small commercial and service-commercial businesses.

The Crow Canyon area is one of the region's principal locations for automotive service and repair businesses. Its proximity to the freeway has made it a convenient destination for residents of San Ramon and the surrounding cities, and its location within a changing warehouse and light industrial district has made it a suitable place for small service and repair businesses to flourish. Many of these businesses are clustered along Beta Court and Omega Road just north of the Village Center Mixed-Use district. In addition to automotive uses, the Crow Canyon area has evolved over the past 20 years into a location for multi-tenant and small corporate offices. Most of these are located along Old Crow Canyon Road south of San Ramon Creek in small multi-tenant office parks (e.g., Sleepy Hollow, Crow Canyon Office Park, Centerpoint, Canyon View Office Park), as well as in medical and legal professional offices along the southern portion of San Ramon Valley Boulevard.

Policy 3.1: Existing automotive service and office businesses should be allowed to remain and expand within the Crow Canyon area.

The Specific Plan recognizes the role that these businesses play in the community, and establishes the Commercial Services/Office district as a land use designation that carries forward many of the

existing provisions of the CS (Service-Commercial) and OL (Limited Office) zoning designations which currently regulate these sites. This designation allows for the existing pattern of commercial service and office uses to remain and be improved within the planning area; it permits a variety of service-commercial uses including automobile sales and services, building materials, contractors' yards, hotels and office uses, and maintains the densities at current levels (i.e., 0.40 FAR maximum).

Policy 3.2: Storage and warehousing shall not be permitted within the area.

Over the past 10 to 15 years, numerous storage and warehousing businesses have located within the Specific Plan area. Because of their growing dominance, and because of their incompatibility with the goal of creating a mixed-use and pedestrian oriented district, no additional storage facilities shall be permitted within the Specific Plan area.

Policy 3.3: The following development standards and design guidelines are aimed at the enhancement of commercial and service-commercial businesses within the area:

Height and Massing: The Commercial Services/Offices District is envisioned as a two- or three-story neighborhood. To that end, the maximum height is 3 floors but no more than 40 feet.

Ground Level Uses: Ground-level building spaces that face public streets should contain uses that generate pedestrian activity and/or provide visual interest to passersby. Where the principal building is set back from the street, the entrance should be clearly apparent from the street and a wide, well-lit path should connect the entrance to the sidewalk without requiring pedestrians to walk between parked cars or along parking-lot aisles. Where

retail-type commercial space is provided, it should be located adjacent to the sidewalk of the principal street and provided with entrances with short and direct connections to the sidewalk.

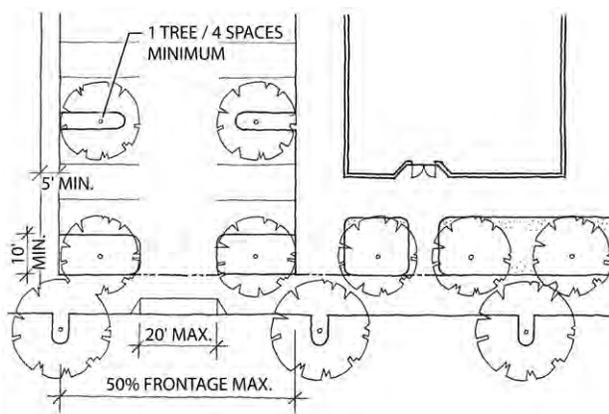
Building Setbacks: To promote a positive pedestrian environment, the principal façade of buildings shall be constructed parallel to the fronting street. The principal entry shall face the fronting street, where feasible. Structures shall be set back at least 10 feet from front and corner side property lines; the 10-foot front and corner side yards shall be landscaped and irrigated. Structures shall be set back 10 feet from rear and interior side property lines.

Ground Level Treatment: Principal building entries and retail spaces should face the streets and should be as transparent as feasible. Windows and doors should have clear, untinted glass. Solid areas should be clad with high grade materials such as stone, tile, precast concrete or quality metal.

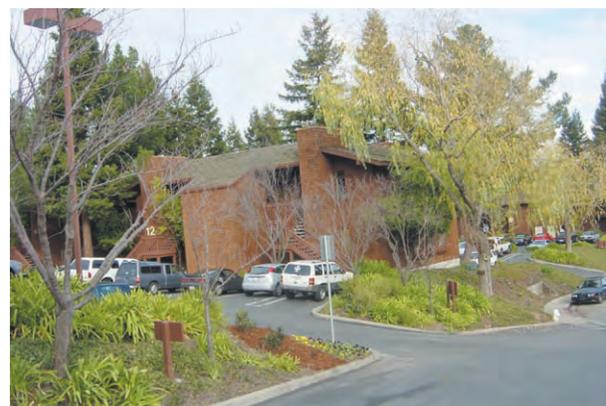
Architectural Treatment and Building Materials: The architectural treatment of buildings within the Commercial Services/Offices District should be high quality, with a high degree of variation

and articulation to create a fine-grained and intimately scaled neighborhood. More specifically:

- **Freestanding Commercial Buildings:** The architectural treatment of freestanding commercial and retail buildings should be varied and articulated to create interest and diversity along public streets. The fenestration above the ground floor should be comprised of “punched” openings within a solid wall, and should be varied and recessed to offer shade and complexity to the building elevation. Parapets and roofs should be designed with decorative elements to provide for additional articulation and interest. All mechanical equipment should be screened from view and architecturally integrated within the roof treatment of the building.
- **Building Materials:** Freestanding commercial buildings should employ quality masonry, stucco or precast concrete. High quality materials (e.g., stone, tile and terracotta) are encouraged as an accent for architectural features (e.g., moldings, cornices, chimneys, etc.) and to provide interest and detail within the view and touch of pedestrians.



Parking access and treatment, San Ramon Valley Blvd.



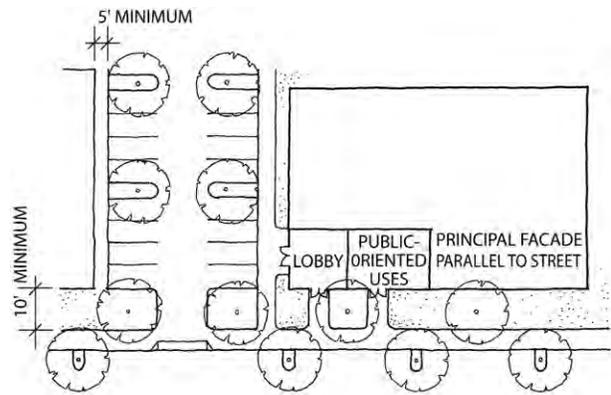
Existing office businesses.

- **Lighting:** New development shall include lighting designed and oriented to confine illumination to its specific site in order to minimize light spillage to adjacent commercial and residential uses, and public open space and recreational areas.

On-Site Open Space: Except where overlain by the Residential Overlay (RO) or Creek Riparian (CRE) districts, the CS/O district does not require on-site open space beyond the landscaped setback requirements described above.

Parking Access and Treatment: Driveways shall be no wider than 20 feet. To the maximum extent practicable, parking lots and structures shall be oriented away from public streets. To create greenery and shade, open parking lots shall be provided with a minimum five-foot wide irrigated planting strip along their perimeter and at least one tree for every four parking spaces, distributed evenly around the perimeter and interior of the lot, and installed and irrigated in minimum six-foot-square pits. Parking structures should be encapsulated and architecturally integrated within the overall design of the mixed-use building, and concealed from view from the San Ramon Valley Boulevard, Old Crow Canyon and Omega Road frontages.

Loading and Service Areas: There shall be no on-site loading or service areas facing Old Crow Canyon Road, San Ramon Valley Boulevard, Omega Road or Crow Canyon Road. Whenever feasible, loading docks and service areas shall be fully enclosed in buildings, but in all cases shall be fully screened from public streets.



Building setback and ground level treatment, Commercial Services/Offices District.

Residential Overlay (RO)

OBJECTIVE 4: Allow for multi-family residential and residential mixed-use infill development to occur within designated portions of the Commercial Services/Office (CS/O) district, when livability and compatibility criteria are met.

In recognition of the emerging pattern of residential development immediately west of the Specific Plan area, this overlay district allows for future residential infill and the intensification of underutilized or changing service-commercial properties in a way that minimizes impacts on existing businesses and leads to the creation of a cohesive mixed-use district of the highest quality. Residential development will be allowed, subject to livability conditions intended to mitigate potential conflicts between the new residential development and existing non-residential uses.

Policy 4.1: Residential infill development should be limited to sites that are 1.5 acres or greater.

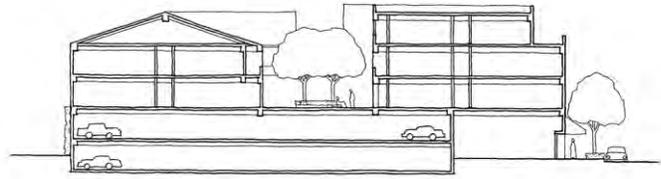
Residential development will be allowed on assembled sites greater than 1.5 acres, subject to livability conditions intended to mitigate any

potential conflicts between the new residential development and existing non-residential uses. The minimum lot size is intended to provide adequate space for medium-to-high density residential development with interior parking and to leave space for setbacks, walls and landscaping to buffer adjacent non-residential uses. Proposed residential projects shall be required to: introduce sound proofing of units in compliance with the City's noise ordinance, provide sound buffering of required private and common open space, and to comply with the development standards and design guidelines set forth below. The maximum density of development in the Residential Overlay district is 50 units per acre or 1.25 FAR, including any non-residential uses, and a minimum density of 22 units per acre. Ancillary commercial uses are allowed on the ground floor up to a maximum of 0.40 FAR.

Policy 4.2: Livability standards should be established to ensure that new housing creates a positive living environment that is sustainable.

Traditionally, multi-family housing has been regarded as entry-level and transitional, with most households typically destined for single-family homes as their incomes rose. In recent decades, rising housing costs, falling household sizes and more leisure-oriented lifestyles have changed the perception of multi-family housing: it is increasingly considered appropriate for all life-stages. As such, multi-family housing should be treated the same as single-family housing with respect to livability, including security, privacy, noise, light, ventilation and outdoor space.

The development and design standards and guidelines establish minimum requirements with respect to setbacks, open space and landscaping.



Encapsulate parking structures and screen from view from San Ramon Valley Boulevard, Old Crow Canyon and Omega Road frontages.

The City should review its building code to insure that its noise standards provide adequate protection from noise transmitted through walls and floors and through the air. Builders should design projects to provide adequate security and privacy, while keeping buildings as transparent and welcoming as possible.

Policy 4.3: Compatibility standards should be established to ensure that new residential infill development can comfortably co-exist with adjacent commercial or service-commercial uses.

It is a policy of this Plan, that existing non-residential uses may remain and expand without concern about their impact on prospective residential uses except as required by existing use regulations. It shall be the responsibility of new residential development to provide adequate spacing (or setbacks) from adjacent non-residential uses and to construct walls and landscaping to protect residents from the noise and visual impacts of neighboring businesses.

Policy 4.4: The following development standards and design guidelines are aimed at guiding residential infill development within the Commercial-Services/Office district:

Height and Massing: The maximum height of buildings within the Residential Overlay (RO)



Residential with pedestrian-friendly stoops.

District shall be four stories or 50 feet.

Ground Level Uses: Public-oriented uses that promote sidewalk activity and a pedestrian orientation are encouraged in fronting ground level space adjacent to public streets. Such uses include: ground-level residential with stoop entrances, offices, retail establishments, showrooms, workshops, and other uses approved by the Director of Planning.

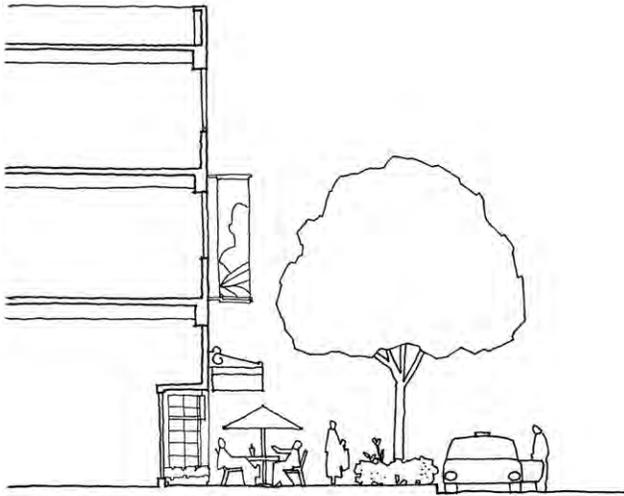
Building Setbacks: Buildings shall be generally oriented to the street, with a minimum setback of 10 feet provided with irrigated landscaping. Minimum rear and sideyard setbacks of 10 feet are required, except that new residential development shall be set back at least 25 feet from interior and rear property lines which abut existing commercial and service-commercial uses. Parking structures or decks up to 20 feet in height, and encapsulated within a mixed-use residential building, may be constructed within 10 feet of a rear or side property line that is adjacent to an existing commercial or service-commercial use.

Ground Level Treatment: Ground level lobbies and residential units should be as transparent and welcoming as privacy and security allow. The

finished floor elevation of ground floor housing units should be no more than 36 inches above the adjacent sidewalk to promote a positive relationship between residents and neighbors. Where provided, ground-floor commercial spaces should be designed as an integral part of the mixed-use building, but should also be articulated as distinct parts of those building façades, with materials and treatments that offer visual interest to the pedestrian. Materials along storefronts should be carefully selected to be of a high quality and appropriate to the pedestrian realm. The use of materials such as stone, tile, masonry and terracotta, which are pleasant to the touch and offer color and variation, is encouraged.

Architectural Treatment and Building Materials: The architectural treatment of buildings within the Residential Overlay district should be high quality, with a high degree of variation and articulation to create a fine-grained and intimately scaled neighborhood. More specifically:

- **Articulation of Building Plane and Silhouette:** Multi-family residential buildings should avoid the appearance of monolithic projects. Individual units and/or clusters of units should be clearly expressed through overall massing and roof treatment, as well as changes in building plane, colors and/or materials. The use of sloping roofs, dormers, gables, balconies, bay windows, chimneys, etc., is encouraged to achieve this variety and articulation.
- **Frequent Changes in Façade Treatment:** In order to create a lively street frontage, residential buildings should have a maximum perceived length of 125 feet to discourage long and monotonous façades. The façades should be further modulated at intervals of approxi-



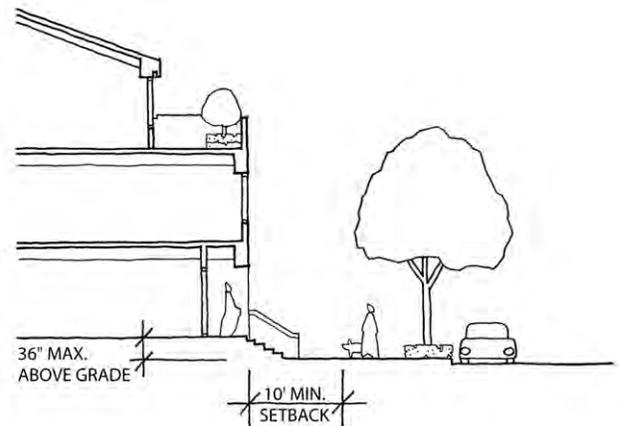
Shops, restaurants and workshops on Old Crow Canyon and Omega Roads.

mately 50 feet and, whenever possible, should be broken down into smaller discrete elements. Devices such as floor level variation, fenestration changes, and the introduction of architectural elements (belt courses, moldings, cornices, pediments, etc.) are strongly encouraged.

- **High Quality Window Treatments:** Fenestration of all multi-family residential buildings should employ a “punctured wall” treatment, with high quality window casings that are recessed from the building face to provide shade and detail.
- **Articulated Roof Treatment:** Roofs should be treated as a distinct architectural element of the building façade. Pitched and gabled roofs, and projections such as cornices and brackets, are recommended to create a distinctive building silhouette. Mechanical equipment should be concealed from view through roof design that is architecturally integrated with the remainder of the building.

- **Building Materials:** High quality clapboard wall treatments, precast concrete, brick and stucco are considered appropriate for multi-family residential development. High quality materials (e.g., stone, tile and terracotta) are encouraged as an accent for architectural features (e.g., moldings, cornices, chimneys, etc.) and to provide interest and detail within the view and touch of pedestrians.
- **Lighting:** New development shall include lighting designed and oriented to confine illumination to its specific site in order to minimize light spillage to adjacent commercial and residential uses, and public open space and recreational areas.

On-Site Open Space: Each residential unit within the RO district shall provide at least 50 square feet of private open space (25 square feet for a studio unit) in the form of a patio, terrace or balcony, sized so that no dimension within the space is less than five feet. Common area open space accessible to all residents (e.g., courtyards, pool terraces, gardens, etc.) shall also be provided with a minimum of 100 square feet of common space for each residential unit. Up to 50% of the units may transfer their private open space requirement to increase the total area of the common space.



Ground-floor housing.

Parking Access and Treatment: No more than 50 percent of the frontage for the first 50 feet of depth of any parcel facing Omega or Deerwood Roads shall contain parking, and no parking will be permitted within the front yard setback area. Driveways shall be no wider than 20 feet. To create greenery and shade, open parking lots shall be provided with a minimum five-foot wide irrigated planting strip along their perimeter and at least one tree for every four parking spaces, distributed evenly around the perimeter and interior of the lot, and installed and irrigated in minimum six-foot-square pits. Parking structures should be encapsulated and architecturally integrated within the overall design of the building, and concealed from view from the Omega or Deerwood Road frontage.

Loading and Service Areas: There shall be no on-site loading or service areas facing Omega or Deerwood Road. Whenever feasible, loading docks and service areas should be fully enclosed in buildings, but in all cases shall be fully screened from public streets.

Open Space/Park (OS)

OBJECTIVE 5: Provide open space that can serve the needs of future residents and that improves the image and identity of the Crow Canyon area as a place to live and work.

This district is intended to provide parks and open spaces for the enjoyment of residents and visitors. The Open Space/Park designation is applied to the Redevelopment Agency-owned 1.3-acre lot on the south side of Old Crow Canyon Road, the 1.2-acre lot that must be acquired to build the Twin Creeks Drive extension, and the narrow 0.9-acre lot between San Ramon Valley Boulevard and I-680.

Policy 5.1: Improve Redevelopment Agency-owned land adjacent to Old Crow Canyon Road and San Ramon Creek and as a public open space that links to a hiking and bicycling trail system along San Ramon Creek and its tributary.

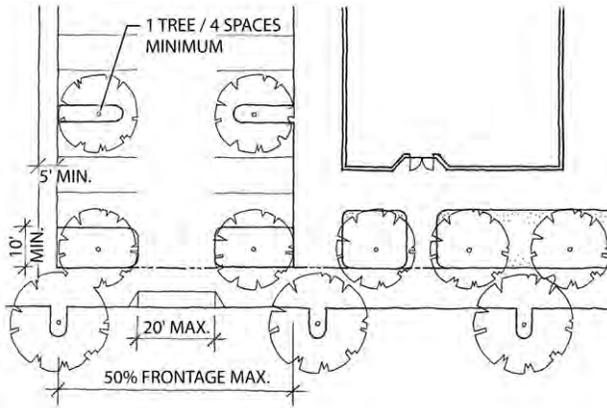
The Old Crow Canyon Road site accommodates the new Twin Creeks Drive bridge and provides open space and pedestrian links to trails along San Ramon Creek and its tributary. After deducting 0.6 acres for the right-of-way of the Twin Creeks Drive extension, the park will contain 1.7 acres, much of which is in the channel and steep banks of San Ramon Creek. The Parks and Community Centers section, below, describes the park at its connections to the trail system in detail.

Policy 5.2: Design the Twin Creeks Drive extension in a manner that maximizes open space opportunities.

Construction of the Twin Creeks Drive extension will involve the acquisition of a larger site than required for the right-of-way. The land not required for the roadway and bridge slopes steeply down to San Ramon Creek. Only a small area on the south bank is flat but it is isolated. The excess land will be planted with native plant materials to function as wildlife habitat and a visual amenity. Fencing may be required to secure the area and protect wildlife; the fence material should be as transparent and unobtrusive as possible.

Policy 5.3: Improve San Ramon Valley Boulevard site as a visual enhancement to the City's northwest gateway.

Because of its location and configuration, this site is too narrow and noisy to be used as recreational space. The existing landscaping, while tastefully



Parking access and treatment, Deerwood Road

done, has not been well maintained and is in need of renovation. It should be landscaped and maintained as a visual amenity and as a buffer to I-680. Improvements are included in the budget for beautification of San Ramon Valley Boulevard.

Creek Riparian Overlay (CRE)

OBJECTIVE 6: Preserve the natural resource value of San Ramon Creek and its tributary, while enhancing the riparian corridor as a linear recreational and open space resource.

San Ramon Creek and its northern tributary constitute an important feature within the area but one that is largely buried within private properties. The Specific Plan calls for enhancing the creek as part of a recreational and open space system that will link the Village Center with areas to the south, including the planned City-owned park on the south side of Old Crow Canyon Road. The creek has the potential to provide residents and workers with a major amenity in an area that is otherwise devoid of public open space.

This overlay district is intended to provide parks and open spaces for the enjoyment of residents and visitors, and to protect and enhance the

riparian corridor of San Ramon Creek as a recreational and environmental resource. It applies to land within 100 feet to both sides of the centerline of San Ramon Creek and its tributaries.

Policy 6.1: Structures shall be prohibited within 100 feet of the centerline of San Ramon Creek and its tributary. Under no circumstances shall a structure be located midslope or within the 100-year flood plain. Improvement within the setback areas shall be limited to open space and recreation amenities and access roads incidental to achieving effective circulation patterns.

Policy 6.2: Maintain a minimum horizontal buffer zone of at least 25 feet from the outer edge of riparian habitat to prevent general access and active recreation, except for pedestrian paths. The 25-foot buffer zone shall be delineated on its outer edge by a permanent fencing material (as deemed appropriate by the regulating city division) to prevent general access. To the extent feasible, lighting fixtures should be oriented away and downward from the riparian corridor.

Policy 6.3: To preserve and restore riparian vegetation, limit new development to previously disturbed areas. Minimize the removal of protected trees as defined by the City of San Ramon's tree preservation regulations. Revegetate areas disturbed by new development. Revegetation shall include a palette of species native to the watershed area. Following removal, woody trees should be replanted at a minimum 1:1 ratio, or as determined in consultation with applicable permitting agencies.

Policy 6.4: New development should be required to provide public access easements along the creek as well as landscape and trail improvements.

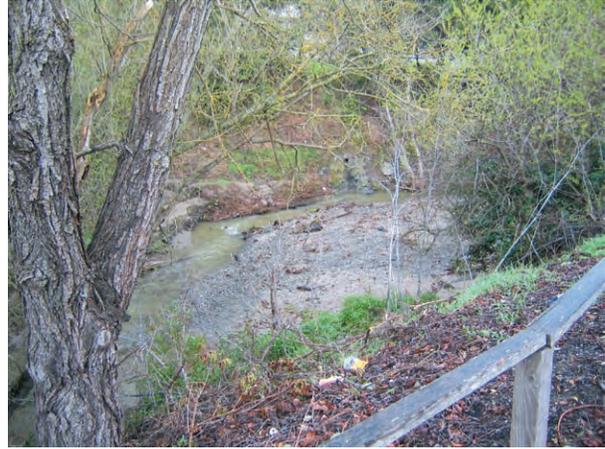
In addition to the above setbacks and buffers, the CRE overlay requires new development in the underlying districts to dedicate and maintain a 30-foot-wide public-access easement along the north bank of San Ramon Creek and its tributary to provide space for a continuous pedestrian pathway system that connects to the Redevelopment Agency-owned site on the west and to street sidewalks on the north and east.

Policy 6.5: Public funds generated from redevelopment should be targeted for creek enhancement and trail improvements on existing properties.

It will be the responsibility of private developers to dedicate and maintain the public-access easement described above, but the cost of the trail, bridges and other public improvements will be covered by public funds. The Implementation chapter sets forth a budget for public improvements.

Policy 6.6: The following standards shall guide improvements within the Creek Riparian Zone.

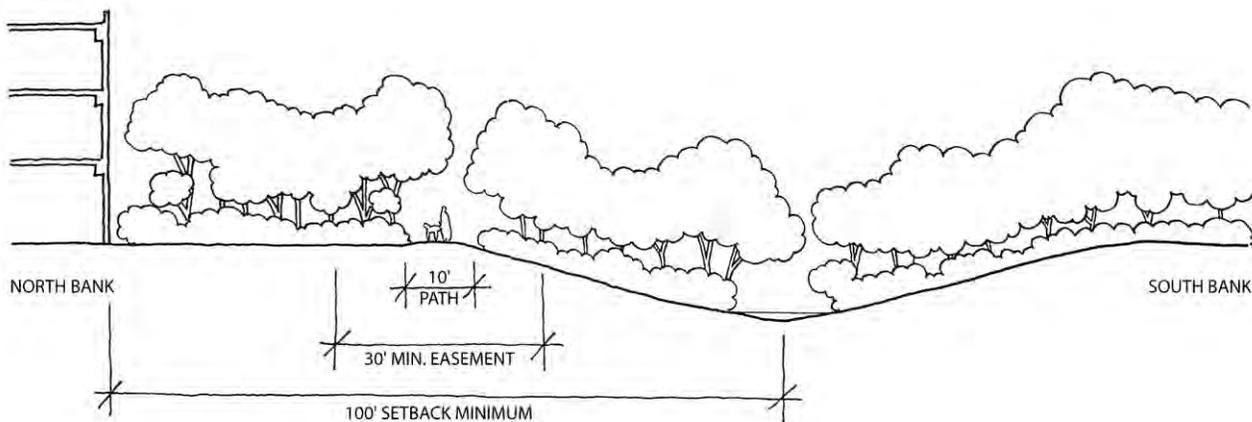
Fencing and Signage: As a natural system and potential wildlife habitat, access should be discouraged into the creek channel and on the steep banks. Low, transparent fencing should



San Ramon Creek.

be provided to deter hikers and bicyclists. Signs should also be posted, as appropriate.

Creek Frontage Treatment: Development on parcels fronting the Creek Riparian Zone (CRE) should orient active ground-level uses such as retail or office towards San Ramon Creek and its tributaries in order to activate the open space and trail system. Doors should be provided between buildings and the Creek Riparian Zone so that occupants can enjoy the amenity. Loading, service uses and blank walls should be avoided. Where parking lots and driveways fall within the Creek Riparian Zone, they should incorporate publicly accessible trails and should be attractively landscaped.



Creek setback and public access easement.

Parking and Loading

The parking and loading requirements of the San Ramon Zoning Ordinance shall apply in the Crow Canyon Specific Plan area, as amended, with the following exceptions:

Very-Low-Income and Low-Income Housing

Units: Very-low-income and low-income housing units shall provide 1.25 parking spaces per unit plus 0.20 parking space per unit for visitors.

All Other Housing Units: Of the residential parking requirements of the San Ramon Zoning Ordinance, 0.20 spaces per unit shall be considered parking for visitors.

Non-Residential Development: Non-residential development shall not be required to provide more than one parking space for each 250 square feet of building area.

Mixed-Use Development: On a site with both commercial and residential uses, up to 25 percent of the parking supplied for the commercial uses may satisfy the visitor parking requirement of the residential uses.

Tandem Parking: Where a single housing unit is provided with two spaces, the spaces may be configured in tandem and shall count as two spaces.

Commercial Rehabilitation Loan Program

The majority of properties in the Specific Plan area are well built and well maintained, but the physical condition and appearance of others does not present the quality image needed to attract new investment. A targeted program of building façade and landscape improvements can be particularly helpful to property and business owners who may not have the resources, expertise or time to initiate their own improvements.

OBJECTIVE 7: Improve the appearance and image of existing buildings and on-site landscape in the Specific Plan area to add value and attract new investment.

Policy 7.1: The San Ramon Redevelopment Agency should consider a Commercial Rehabilitation Loan Program for the purpose, among other possible initiatives, of providing assistance to property and business owners to improve their building façades and on-site landscaping. It is estimated that \$5,000,000 over 10 years could provide an appropriate level of assistance in the City of San Ramon Redevelopment Project Area, the bulk of which would be targeted to the Specific Plan area.